

A child's hands are visible, painting a large abstract artwork. The child is using a brush to apply blue paint to a section of the artwork. The artwork features bold, expressive brushstrokes in blue, orange, and yellow. The child's hands are positioned on the left side of the frame, with one hand resting on the blue paint and the other holding the brush. The background is a vibrant, abstract composition of these colors, with the blue paint being the most prominent in the foreground.

MOXIE

DESIGN GUIDELINES x PHASE ONE



DESIGN GUIDELINES x PHASE ONE

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14 APRIL 2025



An aerial photograph of a vast, green landscape. In the foreground and middle ground, there are dense patches of trees and grass. A winding river or stream flows through the lower right portion of the image. The sun is rising on the right side of the horizon, casting a warm, golden glow across the entire scene. The sky is a mix of light blue and orange.

LOCKHART, TX

**LOCKHART IS A 'TRIBUTE BAND' TO OLD AUSTIN—
BEFORE IT SOLD OUT TO NATIONAL CHAINS AND
TRANSPLANTS, AND THE PRICE OF A GOOD HOME
SHOT OUT OF REACH FOR MOST.**

**WE SEEK TO PROVIDE A SPACE FOR ALL. FROM
YOUNG SINGLES, COUPLES, YOUNG FAMILIES, AND
SMOOTH SAILOR BOOMERS, THEY WILL FIND
THEIR BLEND OF SMALL BATCH LIVING AND BIG
IDEA ENERGY JUST SOUTH OF TOWN IN MOXIE.**



01

- REGIONAL CONTEXT
- LOCAL CONTEXT
- THE BUYERS
- MOXIE VISION
- FOUNDATIONAL PRINCIPLES
- MASTER PLAN

MOXIE VISION

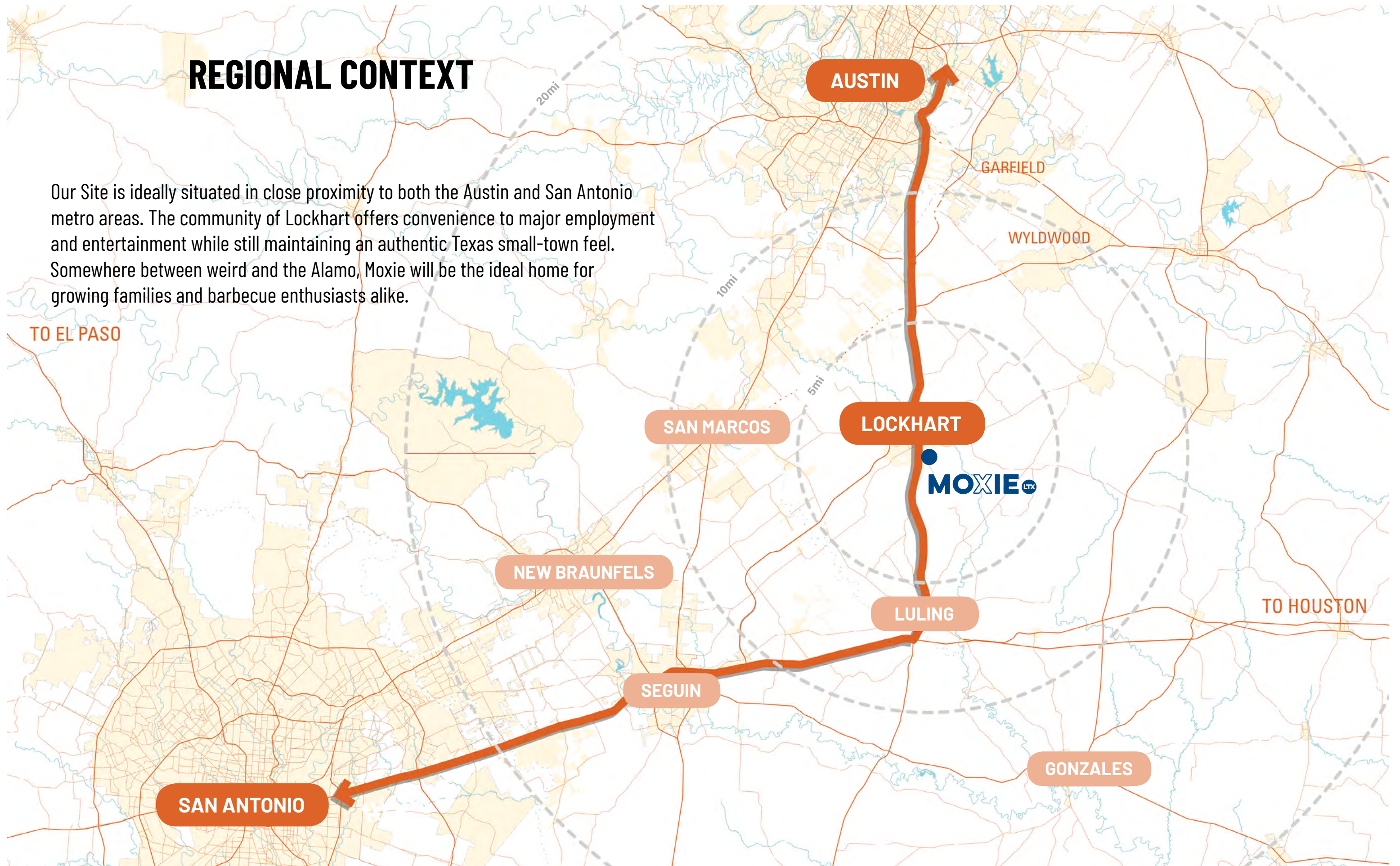
Small lot cottages, multi-gen homes with ADUs, townhomes, and backyard homes (barely big enough to contain a six-year-old’s imagination) connect with trails, greenways and special spaces in between.

It’s a complete community, eclectic, walkable, playful, and authentically Lockhart, where the coffee artisan knows your name and go-to drink. Where the Brewmaster buys hops from High Desert Hops, and the weekly menu includes grab-and-go fresh dinners accompanied by live music, animating the night sky at The Crossing. Where the elementary school and the family physician are steps away from the ice creamery.

There’s nothing cookie cutter or samey-same here. Cared for by the Tonkawa tribe before us, meaning “we all stay together,” there is a place for everyone here—artists, new entrepreneurs, new collar, blue collar, long-timers, first-time buyers, and downsizers.

REGIONAL CONTEXT

Our Site is ideally situated in close proximity to both the Austin and San Antonio metro areas. The community of Lockhart offers convenience to major employment and entertainment while still maintaining an authentic Texas small-town feel. Somewhere between weird and the Alamo, Moxie will be the ideal home for growing families and barbecue enthusiasts alike.



LOCAL CONTEXT

Lockhart is growing, ripe with history, and poised for a future that will serve long-term residents looking for new housing options, and people moving into the area for a better quality of life. Moxie (formerly Seawillow Ranch) is a 589-acre opportunity to create a vibrant, engaging community for the way people want to live today.

Located just east of FM 1322, west of and along Seawillow Road, Moxie is about 38 miles southeast of downtown Austin. It offers an opportunity for Lockhart to help create a community that leans into the vibrant energy of Lockhart and sets the standard for an integrated new home community as a positive social and economic engine.

Five things expressed through community outreach and interviews

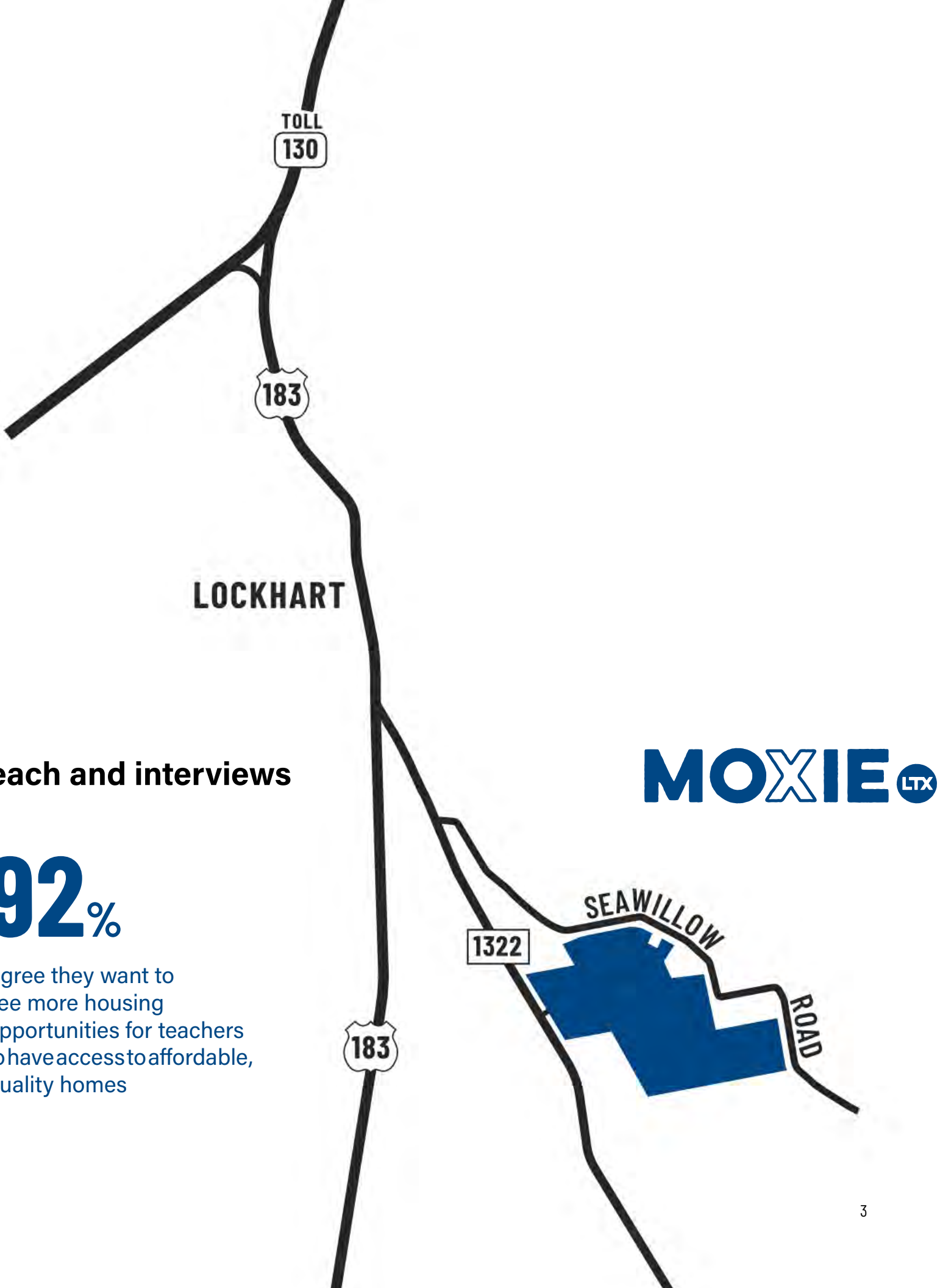
81%
Favor growth

80%
Find current housing options to be limited in types and price points

78%
Want to see a micro-retail lifestyle experience center

78%
Agree it is difficult to find nearby access to medical services

92%
Agree they want to see more housing opportunities for teachers to have access to affordable, quality homes



THE BUYERS





Garden party. Anniversary. Laundry day.
But make it Moxie.



Playoffs. Block party. Rock & roll.
But make it Moxie.



MOXIE VISION

With a promise to be a “purposeful disruptor” Red Oak continuously reflects on the impacts our community design and execution have on the places we create.

Red Oak is committed to building a new kind of master-planned community—where choosing how you live is as special as where. We create interconnected mixed-use communities that make possibilities happen for the people who will live, work and engage there, and contribute to a better life for neighbors and residents alike.

We do this by:

- Cultivating strong partnerships and working collaboratively
- Continuing to evaluate and integrate consumer trends
- Creating diverse mixed-use communities that add value to their regions
- Focusing on “place” and social connections, not just lot production
- Ensuring long-term viability by creating strong returns for our investors



FOUNDATIONAL PRINCIPLES

This new place will be different and colorful, but rooted in authentic Lockhart. It is a walkable place with a variety of experiences. For generations, this will be home, so it must also be quality. **This place has moxie.**



QUALITY

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WALKABLE + PLAYFUL

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AUTHENTICALLY LOCKHART

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HOMETOWN

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MASTER PLAN





02

AERIAL CONTEXT
PHASE ONE SITE PLAN
PHASE ONE CHARACTER

PHASE ONE

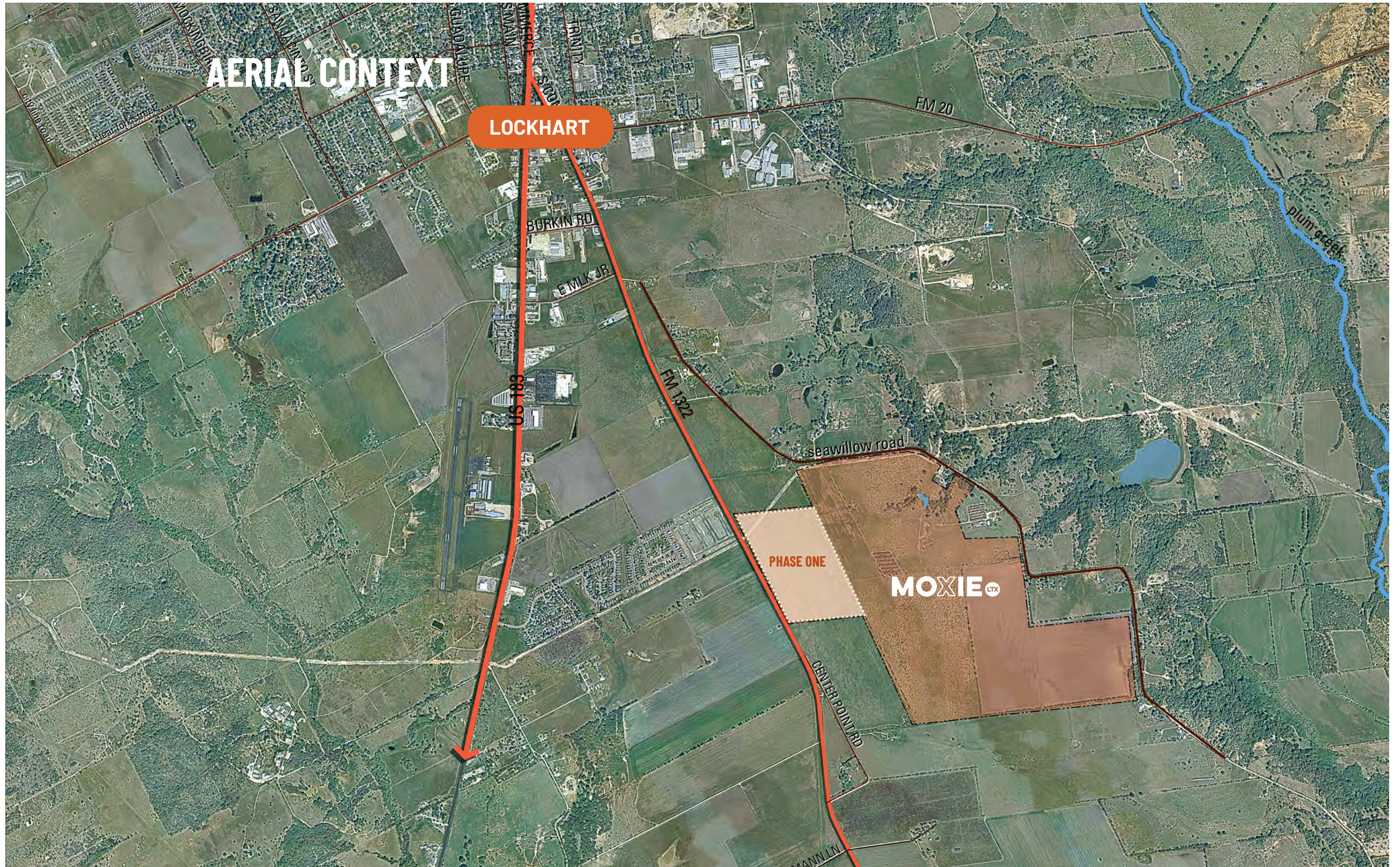
Where choosing
how you live
is as special as
where.

AERIAL CONTEXT

LOCKHART

PHASE ONE

MOXIE^{LTX}



PHASE ONE SITE PLAN

PHASE ONE



PHASE ONE CHARACTER





03

ARCHITECTURAL STYLES

RESIDENTIAL ARCHITECTURE APPROACH

ARCHITECTURAL STYLES

FARMHOUSE

CRAFTSMAN

TUDOR REVIVAL

EUROPEAN COTTAGE

CONTEMPORARY

TEXAS VERNACULAR

ARCHITECTURAL LIGHTING

The architecture of Moxie is rooted in the established and familiar styles of this region, while allowing for fresh, innovative interpretations to respond to the needs and desires of the market.

The architectural styles identified have been selected to achieve the design principle “Architectural Diversity” where the unique characteristics inherent to each architectural style give Moxie variety and changes in rhythm while complementing each other to establish in overall harmony throughout the community.

These suggested styles are intended to inspire designers to achieve authenticity and high quality, while allowing freedom of interpretation in design to create timeless architecture.

RESIDENTIAL ARCHITECTURE APPROACH

Moxie’s residential architecture approach interprets traditional architectural styles with Modern sensibilities, while maintaining the roots and elements of its style character. The Tudor Revival architectural style (below) demonstrates an interpretation across Traditional, Transitional, Modern, and Contemporary approaches to the style.

TUDOR REVIVAL



STYLE

(Example)

TRADITIONAL

Rooted from its place and heritage with a connection to the past and building methods tied to the use of local materials.

TRANSITIONAL

A transitional zone and blend based on Traditional character with Modern translations and sensibilities.

MODERN

Emphasizes simple form and functionality rather than ornamentation, and leverages modern materials.

CONTEMPORARY

Breaks the Modern standard and furthers freedom of expression, often promoting more unconventional lines, shapes and materials.

----- TRADITIONS OF PLACE -----

----- SYMMETRICAL -----

----- RICH & ORNATE -----

----- DEFINED SPACES -----

----- ARTISTIC FREEDOM -----

----- ASYMMETRICAL -----

----- SIMPLE & MINIMALISTIC -----

----- OPEN-CONCEPT -----

ARCHITECTURAL STYLES

Identifying characteristics unique to each architectural style form a critical foundational framework of design criteria, extending beyond aesthetic preferences to encapsulate the essence of each style's functionality and cultural significance.

These elements, including building massing, roof, structural elements, windows and doors, architectural details, and the materials common to each style are not arbitrary. They are deeply intertwined with the historical, geographical, and technological circumstances of their styles.

The following architectural styles create the framework for Moxie architecture but do not limit the design. Styles not listed here, and aligned with the Moxie vision and design guidelines, may be introduced and submitted for review and approval by MxARC.



FARMHOUSE



The Farmhouse style can be traditional and incorporate classic farmhouse elements such as gable end roofs, strong vertical lines, and a sense of overall symmetry, or contemporary by streamlining these time-honored forms for a more modern feel.

Farmhouse homes are simply framed and rectangular in shape, with the most recognizable characteristic being the gable roof, typically with a 12:12 pitch. The steep pitch emphasizes the height of the house, and sets the tone for strong vertical lines.



Modern interpretations of gable end roofs accentuate the Farmhouse style

FARMHOUSE DESCRIPTION

Farmhouse-styled homes are typically two-story buildings with a symmetrical arrangement of parts. The entrance is traditionally at the center with a strong vertical element capped with a gable roof. A short set of wide steps leads from the sidewalk to the porch at the front entrance. The two main exterior siding materials commonly found on Farmhouse styles are lap and board and batten. Shutters found on the traditional farmhouse are typically replaced with horizontal working barn door style shutters for a transitional interpretation of the style.



FARMHOUSE STYLE DETAILS

FORM ELEMENT(S)

Minimum Three Elements Required

Steep roof pitch:

- Main roof 8:12 to 12:12
- Porch 4:12 to 12:12

Gable-ended roof pitches

12" minimum overhangs

Simple additive forms

DESIGN ELEMENT(S)

Minimum Three Elements Required

Panel or barn door style shutters

Porch with wood columns

Double-hung windows on the front elevation

Header trims on front windows

Sidelight entry door

MATERIAL ELEMENT(S)

Minimum Three Elements Required

Roof:

- Metal standing seam
- Smooth, flat concrete tiles
- Composition asphalt shingles

Stucco; sand, light lace, or medium dash finish

Stone and brick

Siding, shiplap, and board + batten

Black frame windows

CRAFTSMAN



The Craftsman style was inspired by the English Arts and Crafts movement of the late 19th Century and utilized the inherent beauty of natural materials such as stone and wood. Craftsman homes are dominated by low-pitched, gable roofs with overhanging eaves and exposed rafters. A wide front porch with over-scaled columns also defines this style.



Wide front porches wrap and define the entry of Craftsman homes, also providing a bit of separation and privacy

CRAFTSMAN DESCRIPTION

The physical character is dominated by its low-pitched, gabled roof with wide, unenclosed eave overhang. In addition, the style features exposed roof rafters and decorative beams or braces commonly added under gables. Large porches with distinctive supporting columns that extend across the entire front of the house along with extensive use of natural materials (wood and stones) are all defining features of the Craftsman style.



CRAFTSMAN STYLE DETAILS

FORM ELEMENT(S)
Minimum Three Elements Required
Low-pitched roof slopes (3:12–5:12)
Gabled along front elevation
Deep eaves with exposed rafter tails
Decorative beams or braces under the gables (12"–30" deep)
DESIGN ELEMENT(S)
Minimum Three Elements Required
Front Porch
Large tapered columns
Exposed structural elements
Dormers
Double-hung or casement window with single lower pane and divided grilles in upper pane
Partially paned doors and flared window trim
Wooden brackets and corbels
MATERIAL ELEMENT(S)
Minimum Three Elements Required
Roof: <ul style="list-style-type: none">Smooth, flat concrete tilesDimensional composition asphalt shingles
Stucco; sand, light lace, or medium dash finish
Siding and board + batten
Natural wood / timber

TUDOR REVIVAL



Tudor Revival homes reflect the medieval cottages present during the Tudor Dynasty in England. These homes most notably feature timber framing on the exterior structure—a structural design feature on their medieval ancestors. The decorative woodwork creates striking elevations with interesting patterns. This intricate millwork has evolved to be applied to other places on the elevation such as under window groupings on porches.

The Tudor Revival style has influenced Victorian and Craftsman styles as is evident in the handsome detailing of natural materials.



A two-story front-facing gable is inherent to the Tudor Revival architectural style

TUDOR REVIVAL DESCRIPTION

The Tudor Revival architectural style is characterized with a steeply pitched roof and one dominating front gable. Windows are typically grouped and have taller and narrow proportions. Wall surfaces are stucco with stone and brick incorporated. The half-timber detailing is usually showcased on gable ends.



TUDOR REVIVAL STYLE DETAILS

FORM ELEMENT(S)

Minimum Three Elements Required

8:12 to 12:12 roof pitch, though the style can go up 20:12

Two-story front-facing gable

Large 12" minimum eave overhangs

DESIGN ELEMENT(S)

Minimum Three Elements Required

Decorative half-timbering or distinctive trim detail

Articulated entry porch with decorative treatment using stone or brick

Prominent chimney featured on the facade

Tall, vertical window groupings articulated with small panes, historically casement

Bay windows

MATERIAL ELEMENT(S)

Minimum Three Elements Required

Roof:

- Metal standing seam
- Smooth, flat concrete tiles
- Composition asphalt shingles

Stone and brick

Stucco; sand, light lace, or medium dash finish

Rough-hewn siding

Timber

EUROPEAN COTTAGE



European Cottage is a style that evolved out of Medieval Tudor and Norman architecture. The combination of these two architectural influences eventually translated into the popular English and French “Cottage” style homes that received further acceptance with the addition of stone and brick veneer details developed in the 1920s.



Stone or brick at the main entryway is common to the European Cottage architectural style

EUROPEAN COTTAGE DESCRIPTION

The evolving European Cottage architectural style is characterized by its steep roofs, that are usually side-gabled, and façades that are dominated by cross gables. The primary material is stucco with heavy use of stone and brick at bases, as are rounded doorways, multi-paned casement windows, large and an elaborate chimney feature. Some of the most recognizable features for this style are the accent details in gable ends, sculptured swooping walls at the front elevation and tower or alcove element at the entry.



EUROPEAN COTTAGE STYLE DETAILS

FORM ELEMENT(S)
Minimum Three Elements Required
Steep-pitched roof (min 6:12)
Hip and gable roof forms
Gable roof overhang with 9"–24" eave
Irregular shaped forms and spaces
DESIGN ELEMENT(S)
Minimum Three Elements Required
Tower feature at entry massing
Casements windows or double-hung sash windows
Bay window as front feature
Louver and panel shutters on windows
Arched doorways
Boxed windows with greenery and flowers
MATERIAL ELEMENT(S)
Minimum Three Elements Required
Roof:
• Smooth, flat concrete tiles
• Dimensional composition asphalt shingles
Stone and brick
Siding accents

Note:
Opportunity for brighter colors in Victorian style

CONTEMPORARY



Contemporary-styled homes continue to grow in popularity due to their fresh clean look that borrows from historic and traditional styles, allowing them to seamlessly fit in with the neighborhood. Simple detailing and careful selection of low maintenance materials characterize this style.



Color-blocking or material differentiation over simple architectural forms offer a modern and contemporary aesthetic

CONTEMPORARY DESCRIPTION

Sculptural forms can include smooth surfaces, shifted volumes, and projecting cantilevers. Floor-to-ceiling windows and an array of square openings placed throughout the façade present straightforward geometry. Retractable shutter panels provide ways to both shade interiors from daylight while maintaining a cutting-edge look.

A mix of roof styles can include hip, gable, and sloping shed. A mix of stucco and wood, horizontal lines with contrasting vertical towers or elements and distinct design elements such as sunshades add to the new contemporary home geometry.



CONTEMPORARY STYLE DETAILS

FORM ELEMENT(S)

Minimum Three Elements Required

- A mix of varying roof pitches and styles:
- Low-pitched roof slopes (3:12–5:12)
 - Steep-pitched roof slopes (8:12–10:12)
 - Flat roofs

Shed roofs on the front elevation

Minimally trimmed overhangs

Shows movement in massing and organic forms

Geometric shapes

DESIGN ELEMENT(S)

Minimum Three Elements Required

Storefront window on ground floor

Metal railings on balconies

Horizontally proportioned, framed, or flat panel garage door

Recessed porch with minimal railings

Minimal ornamentation

Alternating material planes

MATERIAL ELEMENT(S)

Minimum Three Elements Required

- Roof:
- Metal standing seam
 - Smooth, flat concrete tiles
 - Composition asphalt shingles

Sustainable materials

Natural wood siding

Stucco; sand, light lace, or medium dash finish



TEXAS VERNACULAR

Texas Vernacular is derived from the homes that occupied the open plains of Texas during the 19th century. Those homes were known for their use of local materials such as stone and wood available on site, and their simple functionality of rectangular footprints with large porches and verandas to beat the heat. This style has evolved to add larger windows and sophisticated styling, while keeping the tradition of incorporating local materials and details that ground the homes with the nature around them.



Simple, functional rectangular homes with stone facades reinforce the grand Texas vernacular character

TX VERNACULAR DESCRIPTION

Massing for these homes is based on a rectangular main footprint with multiple gable projections facing the front facade. Deep front and rear porches often span the entire width of the home, but main entries can also be protected by a deep set entry. Stone is typically a dominant material joined by siding or stucco. Roof features are detailed with brackets and exposed rafter tails.



TX VERNACULAR STYLE DETAILS

FORM ELEMENT(S)

Minimum Three Elements Required

3:12–8:12 roof pitches

Gabled main body of the home with projecting gables and side wings

Exposed rafter tails and brackets

Shed roofs projecting over porches and bay windows

DESIGN ELEMENT(S)

Minimum Three Elements Required

Stone as a dominant material

Rustic appearance

Wide front covered porches/verandas

Square wood columns with trim

Post and lintel wood timber construction

Vertical window proportions

MATERIAL ELEMENT(S)

Minimum Three Elements Required

Roof:

- Metal standing seam
- Composition asphalt shingles

Vertical board + batten, lap siding

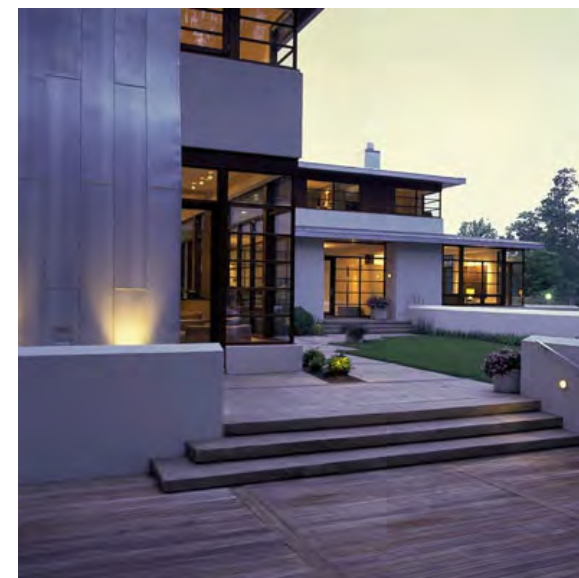
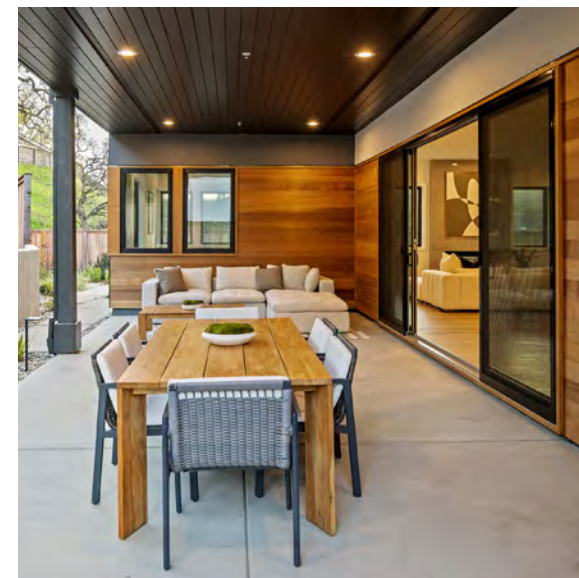
Stucco; sand, light lace, or medium dash finish

Stone and brick

ARCHITECTURAL LIGHTING



Exterior lighting plays a crucial role in enhancing the functionality, safety, and aesthetic appeal of homes and outdoor spaces. Lighting can transform ordinary spaces into captivating environments, adding depth and dimension, curating the neighborhood vibe. Well-lit pathways, entries, and perimeters improve visibility while highlighting architectural features, textures, and details, creating a visually appealing experience. Exterior lighting also allows for the enjoyment of outdoor spaces after dark, extending the usability of patios and porches.



EXTERIOR LIGHTING

- 1 House numbers should be illuminated with exterior light source.
- 2 Homes less than 40' wide should have a minimum of two (2) exterior lights on the front elevation.
- 3 Homes greater than 40' wide should have a minimum of three (3) exterior lights on the front elevation.
- 4 Exterior lighting design should be of the same style and character as the architectural style of the home.
- 5 Porticos, porches, and covered patios to utilize soffit lighting when appropriate.
- 6 Exterior lighting should be installed within the building envelope and landscape elements in such a way as not to be unsightly, cause unnecessary light pollution, distraction, or nuisance.





04

DESIGN PRINCIPLES
ARCHITECTURAL DIVERSITY
ARCHITECTURE FORWARD
TIMELESS ARCHITECTURE
REPETITION CRITERIA

DESIGN GUIDELINES

Let us spell it out for you. Loud, artful, and determined. Clearly, the mundane everyday is different here. From our daily routine to our block party BBQs, our verve and energy is just unique. We live these moments differently—we own them with pride, and we make it Moxie.

These design guidelines are intended to clearly set the expectations for development within Moxie. They are intended to guide development in a clear and direct manner allowing builders, engineers, and designers to understand and implement the quality of design that is expected at Moxie.

The design guidelines aspire to avoid language and rules that are onerous and difficult to implement. The goal is to make the intentions and spirit of the guidelines clear to allow designers the freedom to create high quality, innovative solutions resulting in a high quality and high value community.

DESIGN PRINCIPLES

Design Principles are the foundation of the Design Guidelines.

ARCHITECTURAL DIVERSITY

Like a perfectly mixed music recording comprised of unique parts, encourage cohesive diversity and creative design while ensuring community harmony through a compatible mix of suggested architectural styles from which to compose the overall song.



INNOVATIVE DESIGN

Provide market-driven housing options that appeal to the diverse needs of individuals and families at every stage of life they are at today, while being mindful and exercising flexibility to adapt to the changing needs that occur over time.



ARCHITECTURE FORWARD

Design homes with engaging elevations that live toward the front of the home to provide eyes on the street, engaging the public realm.



TIMELESS ARCHITECTURE

Merge a commitment to quality with compelling design, rooted in architectural history, that stands the test of time—artfully arranging the materials, details, and colors to reinforce and enhance the individual architectural style.



COMMUNITY CONNECTIONS

Design pedestrian scale, human-centric homes that embrace and understand the function and relationship to the neighborhood and surrounding community they belong to, promoting interactions amongst residents and establishing a safe, dynamic pedestrian experience.



COMMITMENT TO STEWARDSHIP

Strive to be a community that observes sustainable practices that respect the land and bring value to the home.



ARCHITECTURAL DIVERSITY



Moxie aims to achieve a “cohesive diversity” as described in the design principles. Variety and diversity is desired to deliver surprises and changes in rhythm as one moves through the community, all accomplished while sustaining community cohesion to avoid jarring and discordant elements.

A compatible blend of architectural styles and features shall be designed into each streetscape to provide variety and avoid monotony. A mix of traditional, transitional, and contemporary architectural styles is encouraged to appeal to a wide variety of household types. Identical floor plans, elevations styles, or color schemes shall not be located next to or across the street from each other.



Architectural variation in styles, forms, and materials

PLAN & ELEVATION VARIATIONS

- 1 A minimum of three floor plans shall be provided for each product typology per builder up to one hundred lots or homes total.
- 2 Each floor plan shall offer variations to ensure each floor plan is conspicuously distinct from each other in key features such as main entry location; porch size, placement, and roof treatment; garage articulation and relationship to main facade; location and size of private covered patios; arrangement of interior living spaces; and overall square footage.
- 3 A minimum of three elevations are required for each required floor plan. Each elevation per plan is encouraged to utilize a different architectural style selected from the approved examples, however obviously visible distinctions between elevations with the same style may be permitted. Pronounced changes in features such as rooflines, building massing, and window and door placement shall be provided to make each building noticeably unique from each other.
- 4 Each required elevation style shall have a minimum of three color schemes subject to Reviewer approval to provide further variety and distinction along the street.
- 5 Builders shall submit a final plotting plan showing locations of floor plans, elevation styles, and colors.

BUILDING FORM & MASSING

- 1 Building forms and massing shall be appropriate to the architectural style.
- 2 Both one and two story elements should be incorporated into the home design to create a dynamic facade and to avoid box-like forms with little articulation.
- 3 Detailed elements such as roof overhangs, dormers, and parapets appropriate to the architectural style add interest and authenticity to the home.
- 4 Varied front setbacks between neighboring homes along the same street is encouraged where possible to provide an undulating rhythm and avoid a continuous wall effect.



Streetscapes with a compatible blend of architectural styles

ARCHITECTURE FORWARD



Moxie is intended to be a place where homes are designed to embrace the public realm to facilitate interactions between residents and to provide safe neighborhoods of high value.

Homes shall be designed with living areas, building entries, and porches on the front facade of the home to engage the public realm and activate the street and parks. The goal is to provide constant “eyes on the street” or “eyes on the park” creating a safer pedestrian experience and opportunities for interactions between neighbors.

Building entries should be articulated as a focal point of the front elevation with detailing as appropriate to the architectural style. Porches should be included as part the building entry experience to create a transition between semi-public and private space.



Front porches engage the public realm

CORNER LOT TREATMENT

- 1 Corner lot conditions shall provide an enhanced elevation continuing architectural details and materials found on the front elevation to ensure all facades visible from the public realm express the quality of the community. See Figure X-X for corner lot conditions.
- 2 Corner lot elevations are encouraged to include porches that wrap the corner and/or side courtyards to engage the street.
- 3 Building entries on corner conditions should consider prominently engaging both the front and side elevations to create a strong architectural element to anchor the corner of the street.

ENHANCED REAR & SIDE ELEVATIONS

- 1 Additional attention should be given to rear and side elevations that share a common property line with public park or green space areas. See Figure X-X for enhanced elevation locations.
- 2 These enhanced elevations will receive similar detailing as the front elevation, though to a lesser extent. Sufficient architectural detail shall be expressed on these elevations especially on window trim and detailing, accent materials, and patios with views of the space.
- 3 Buildings in these locations should not “turn their backs” on the park or open space, but rather engage these spaces.

OUTDOOR SPACES

- 1 Front porches shall be integrated into the overall architectural composition to serve as the important transition between public space and private dwelling.
- 2 Porches shall be designed as an outdoor extension of the interior living space, with adequate room for seating and circulation as appropriate to the architectural style.
- 3 The detailing of the porch elements including columns, stairs, railings, and roof shall be consistent with the architectural style of the home. Porch articulation provides a tactile experience of the architectural detailing and enhanced materials of the home.
- 4 Covered patios in rear yards and upper level decks shall be incorporated in the overall architectural design. Covered patios that extend beyond the building envelope can provide additional articulation on the rear facade.



Materials and articulation to engage the street including the detailing and wrapping of porches to enhance the architectural style especially as it pertains to corner lots

TIMELESS ARCHITECTURE



The architecture of Moxie will be designed to attend and adapt to the diverse needs of its residents while maintaining a commitment to quality in materials, details, colors, and application of architectural style that will stand the test of time.



ROOFS

- ❶ Roofs shall be finished with durable, high-quality materials appropriate to the architectural style of the home.
- ❷ Roof forms shall be distinctly different between neighboring homes to avoid a monotonous roofline along the street. A combination of one- and two-story elements, front-to-rear vs. side-to-side gabled roofs, hipped elements, gables, and dormers appropriate to the architectural style should be utilized to offer differentiation between homes.

GARAGES & DRIVEWAYS

- ❶ Garages shall be recessed on the front building elevation to diminish its appearance on the facade. These dimensions are reflected in the Building Standards Table.
- ❷ Garages shall incorporate trim and architectural detail around the door to provide articulation consistent with the architectural style.
- ❸ Trellises over the door and/or landscaping is encouraged to be used around garage doors to help soften the appearance of the door.
- ❹ Single bay doors, garage doors articulated with windows, and architectural lighting adjacent to garage doors are encouraged methods to downscale the impact of garage doors and better integrate them into the architectural style and facade of the home.
- ❺ Three-car garages where allowed shall use offsets and detailing appropriate to the architectural style to reduce their visual impact. At least one of the garage doors shall be placed on a different plane from the other to break up the visual massing of the three-car garage. Three-car garages are prohibited on corner lots.
- ❻ Single-family garages in alleys are encouraged to vary the apron size as allowed per the development standards to avoid the appearance of a wall of garage doors.
- ❼ Driveway curb cuts shall be no wider than 20' at lot frontage. Lots with three-car garages shall be tapered down to ensure 20' width at lot frontage.



Garages shall be recessed from the front plane of the building to diminish its appearance



Espalier greenery around the garage door helps soften its appearance and adds interest to the alley

DOORS & WINDOWS

- 1 The entry of the home shall be designed as the prominent focal point on the front facade.
- 2 Doors should be protected by a recess, porch, or other covered element.
- 3 The placement and detailing of windows and doors shall be thoughtfully considered on public-facing elevations to create a visual connection between public spaces and the home, promoting safety with “eyes on the street”.
- 4 Architectural trim shall be applied to all elevations visible from the public areas of the project.



The entry point of the home should be punctuated and framed or protected by a porch or covered element

COLORS & MATERIALS

- 1 Each elevation shall have three colors in its palette: one primary color, one trim color, and one accent color.
- 2 Colors and materials shall be appropriate to the architectural style. Sample palettes will be provided that express the established character of Moxie.
- 3 Accent materials on the front building elevation shall wrap to an inside corner on the adjacent side elevation, or to an appropriate break point. Material transitions shall be thoughtfully designed and be appropriately executed per the intrinsic nature of the material.



Accent colors and materials shall wrap corners



REPETITION CRITERIA

ESTABLISHES UNIFIED VISUAL IDENTITY | ENSURES MASTER PLAN HARMONY | ENHANCES COMMUNITY APPEAL

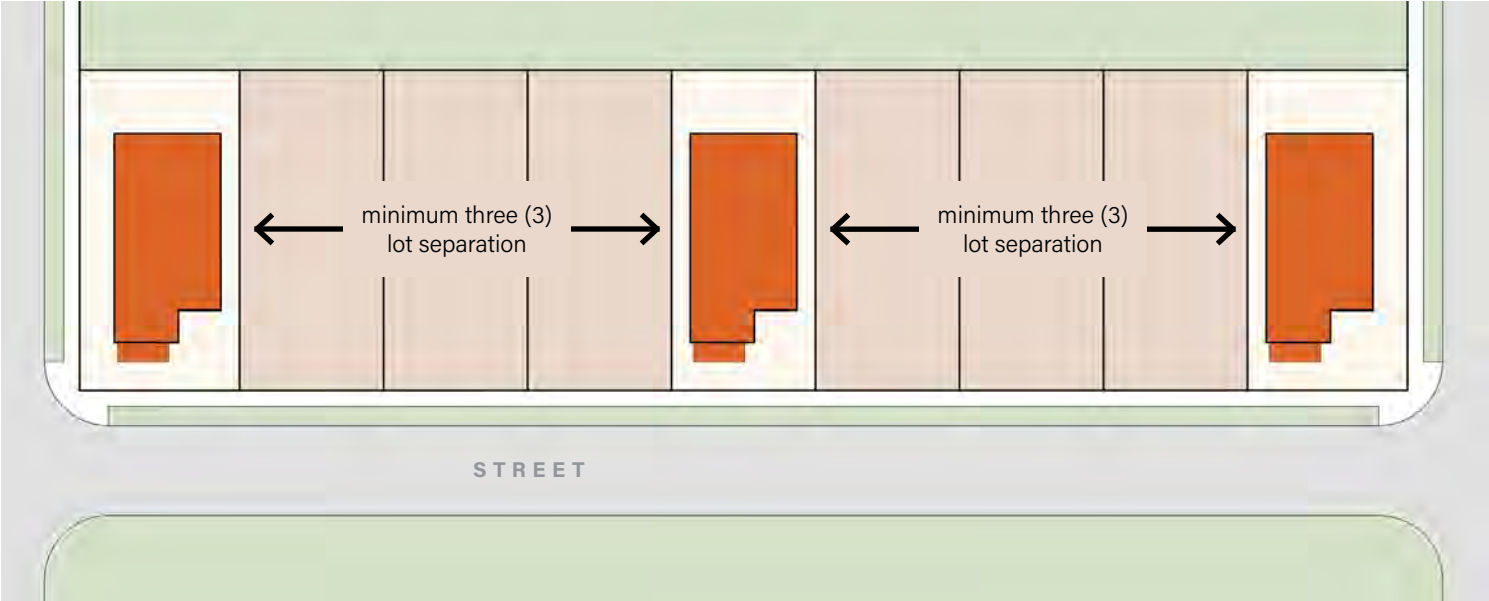


Architectural repetition criteria are essential for cultivating visual harmony and a cohesive aesthetic within Moxie. By thoughtfully regulating the recurrence of architectural elements—such as rooflines, materials, and color palettes—the community establishes a unified identity. This approach not only enhances the overall appeal of Moxie, but also ensures each individual home complements the broader vision of the master plan, creating a more desirable living experience.

REPETITION CRITERIA #1

- SAME Floor Plan
- DIFFERENT Elevation Style
- SAME Side of Street

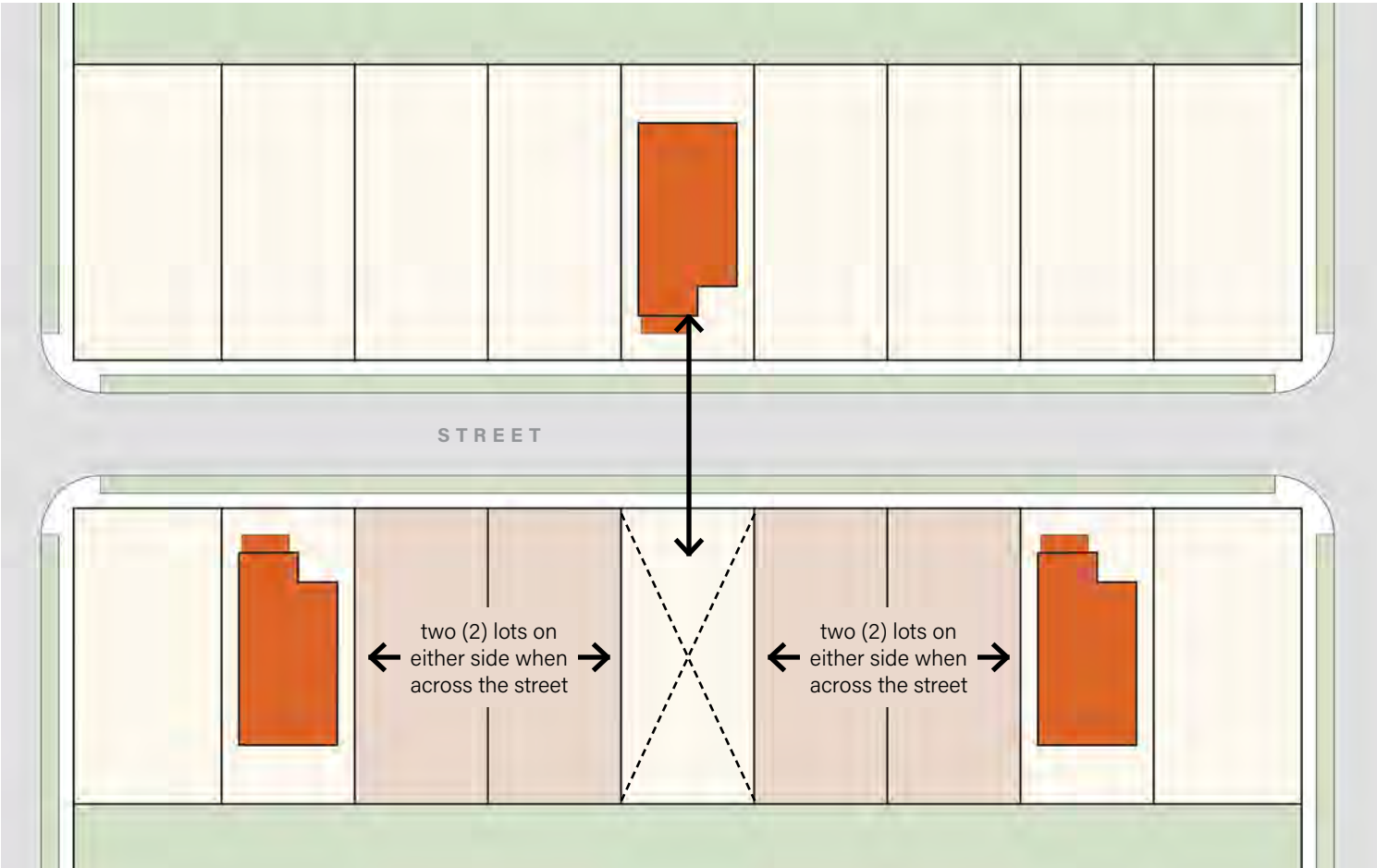
Identical floor plans with different elevation styles on the same side of the street, must be of different color scheme with a minimum three (3) lot separation between any identical floor plans with different elevation styles.



REPETITION CRITERIA #2

- SAME Floor Plan
- DIFFERENT Elevation Style
- OPPOSITE Side of Street

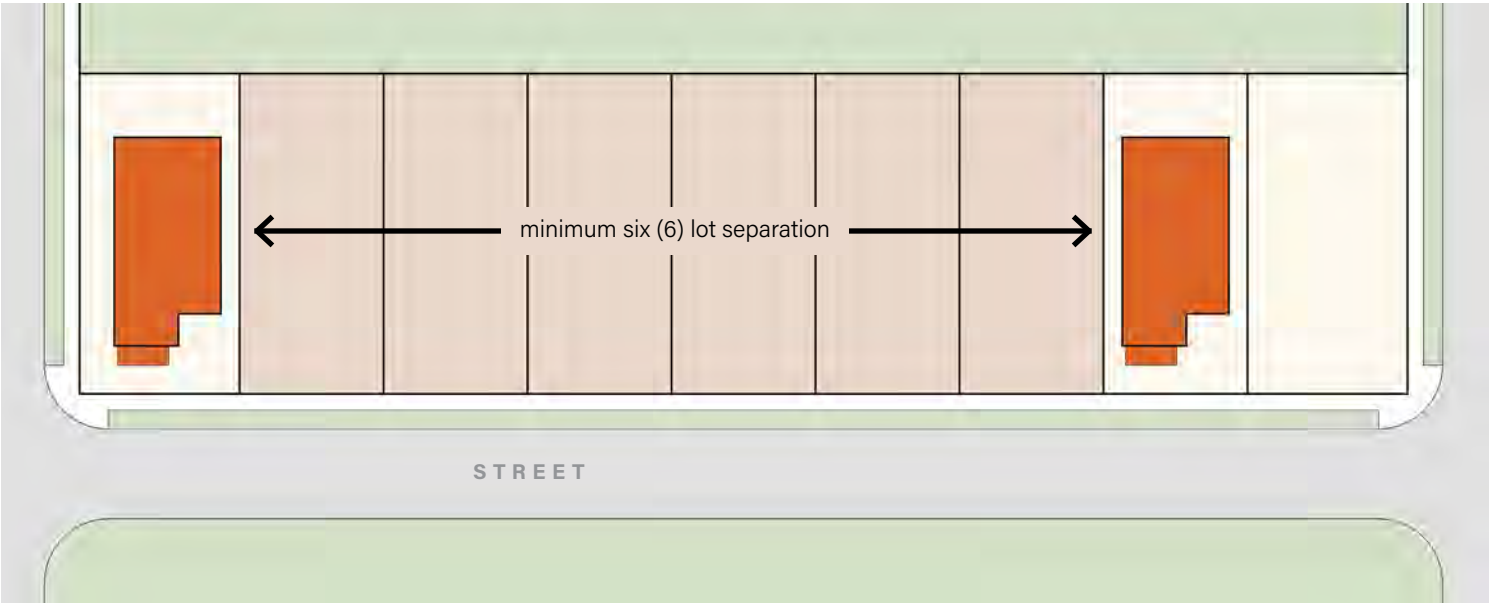
Identical floor plans with different elevation styles on the opposite side of the street, must be of different color scheme with a minimum two (2) lot separation between any identical floor plans with different elevation styles.



REPETITION CRITERIA #3

- SAME Floor Plan
- SAME or SIMILAR Elevation Style
- SAME Side of Street

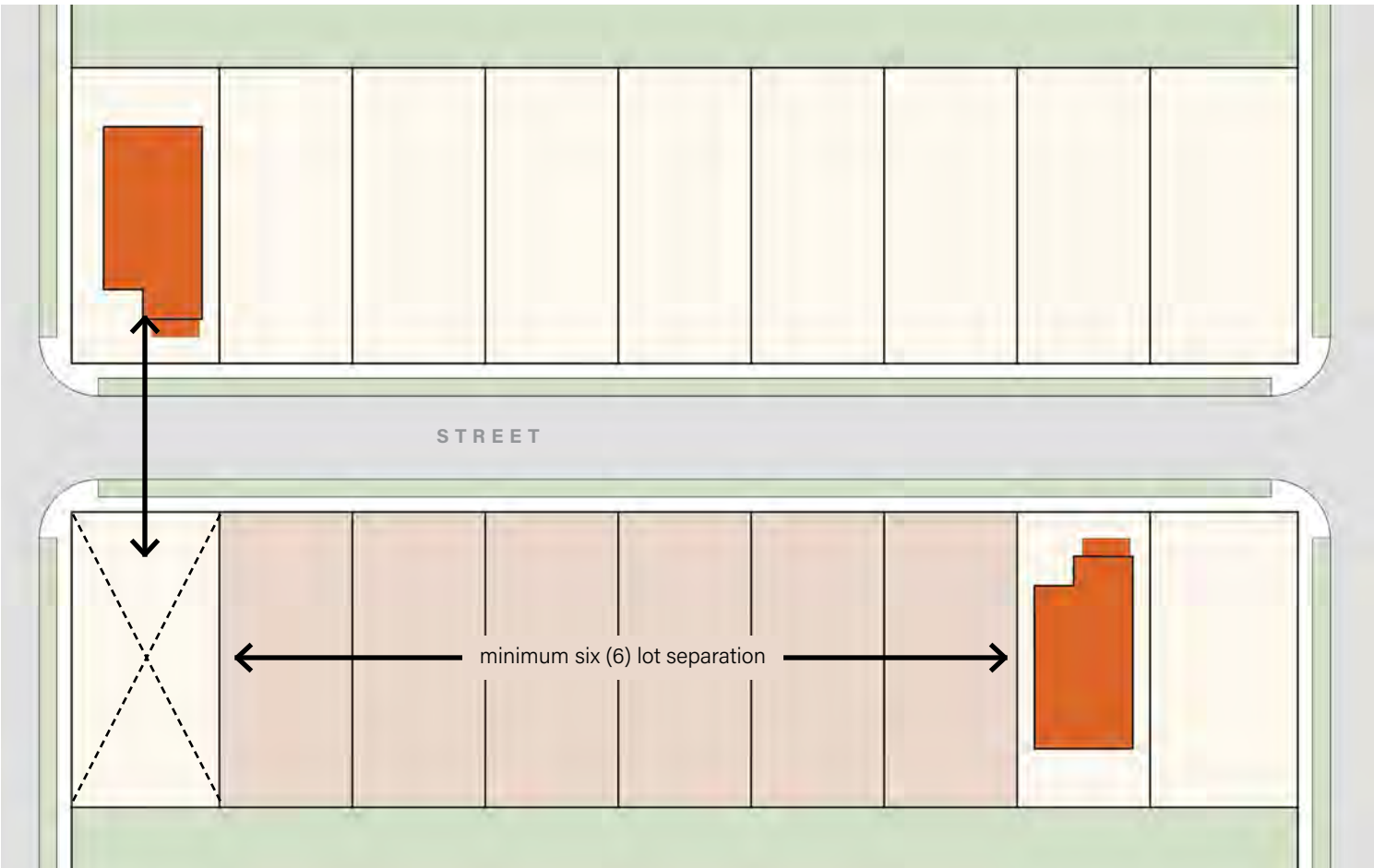
Identical floor plans, with identical or similar elevation styles, on the same side of the street must be of different color scheme with a minimum six (6) lot separation between any identical floor plans with same or similar elevation styles.



REPETITION CRITERIA #4

- SAME Floor Plan
- SAME or SIMILAR Elevation Style
- OPPOSITE Side of Street

Identical floor plans, with identical or similar elevation styles, on the opposite side of the street must be of different color scheme with a minimum six (6) lot separation on either side of the lot across the street.



REPETITION CRITERIA #5

SAME Alley Network
SAME Side of Alley

Floor plans on the same alley network but on opposite sides of the alley are not subject to the same repetition criteria. Only same side of alley floor plans are considered for repetition purposes.

SAME Floor Plan
DIFFERENT Elevation Style

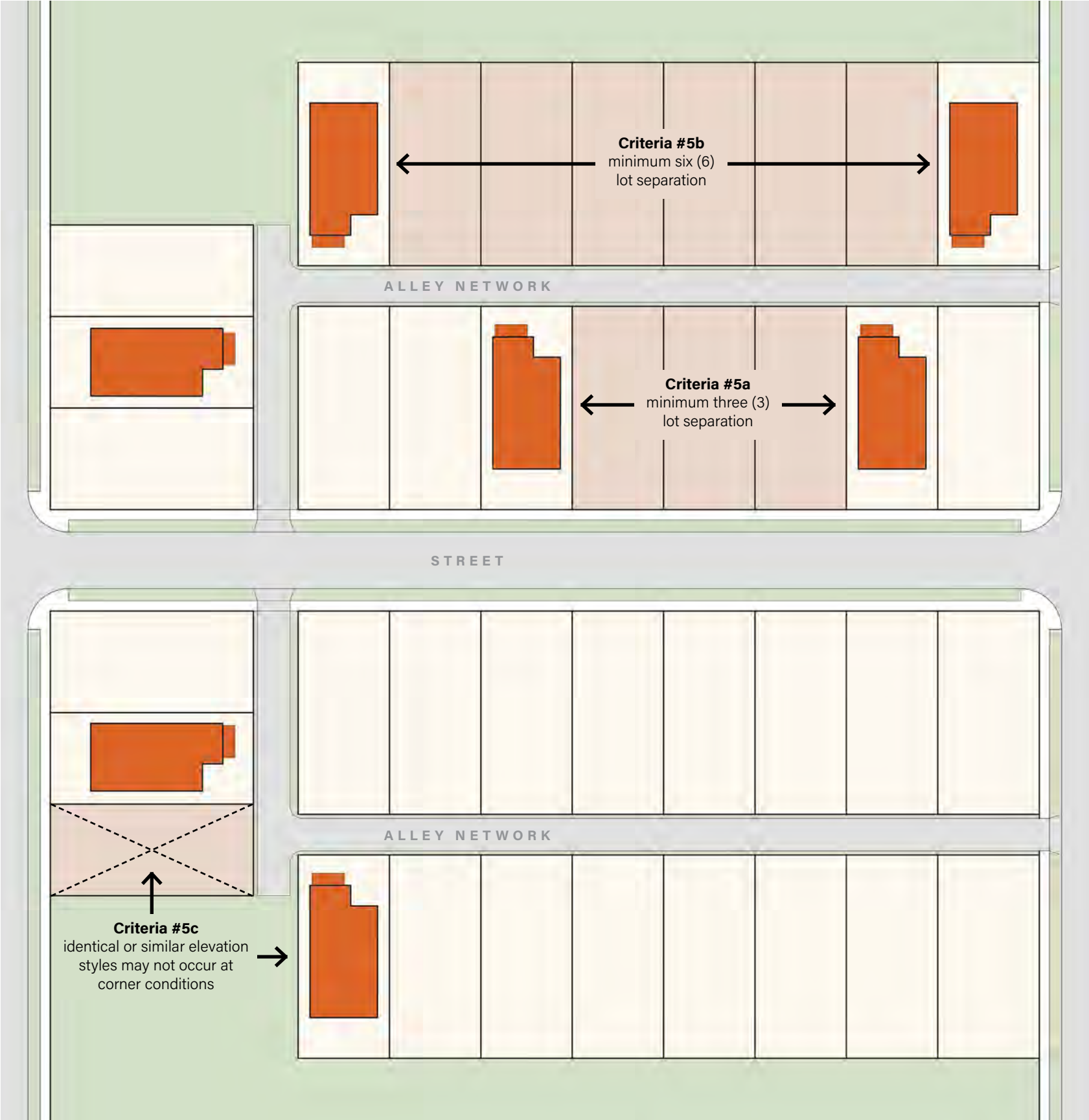
5a Identical floor plans, on the same alley network, on the same side of the alley must be of different elevation style and color scheme with a minimum three (3) lot separation.

SAME Floor Plan
SAME or SIMILAR Elevation Style

5b Identical floor plans, on the same alley network, on the same side of the alley with identical or similar elevation styles must be of different color scheme with a minimum six (6) lot separation.

SAME Floor Plan
SAME or SIMILAR Elevation Style (Corner Conditions)

5c Identical floor plans, on the same alley network, at alley network corner conditions, with identical or similar elevation styles may not occur.



05

SITE DEVELOPMENT STANDARDS

SITE DEVELOPMENT STANDARDS
FRONT-LOADED X SFD
FRONT-LOADED X ZIPPER LOT
DRIVEWAYS

Stemming from the idea of Lockhart as a tribute band to old Austin, we begin to question—are we not greater than a tribute? We are authentic. We are Lockhart. We embrace our location and who we are. We take the best of the old, and we make it new—and our own—Moxie.

Site Development Standards have been established for Moxie that take precedence over those of Lockhart. They have been tailored to achieve the streetscape design and neighborhood patterns desired.

The standards are organized by product typology as shown in the Overall Product Typology Building Standards Table. Each product typology is shown in detail on the following pages and includes minimum lot sizes and allowed home size ranges. These graphics are illustrative in nature. See final civil plans for precise locations of road rights of way, lot lines, and required setbacks.

SITE DEVELOPMENT STANDARDS

Site Development Standards have been established for Moxie and in future phases will take precedence over those of Lockhart. **For Moxie Phase I, Site Development Standards must adhere to Lockhart Code of Ordinance.** These standards have been tailored to achieve the streetscape design and neighborhood patterns desired for Moxie. The standards are organized by product typology as shown in the Overall Product Typology Building Standards table. Each product typology is shown in detail on the following pages and includes minimum lot sizes and allowed home size ranges. These graphics are illustrative in nature. See final civil plans for precise locations of road rights of way, lot lines, and required setbacks.

OVERALL PRODUCT TYPOLOGY BUILDING STANDARDS

Product Type	Front Yard Setback (minimums)			Side Yard Setback (minimums)			Rear Yard Setback (minimums)		Alley Setback (minimum)	Building Height (maximum)
		TO			TO		TO		TO	
LOT SIZE	Building	Garage	Unenclosed Porch ¹	Lot Line	ROW (corner lot)	Unenclosed Porch ¹	Lot Line	Unenclosed Patio	Garage Face	
SFD 50' x 110'	20'	30'	16'	5'	10'	5'	10'	5'	NA	2 stories
SFD 50' x 110' - Zipper	10'	20'	16'	5'	10'	5	10'	5'	NA	2 stories
(Future Product)										
(Future Product)										
(Future Product)										
(Future Product)										
(Future Product)										

Note(s):
¹ Stairs to an unenclosed porch may encroach into setback areas provided they do not create a safety hazard.



FRONT-LOADED X SFD

Front-loaded single-family detached homes in Phase One of Moxie include (four) lot sizes. The potential buyers for these homes include all five of the target demographics, as the variety of lot widths and square footages provide a range of price points.

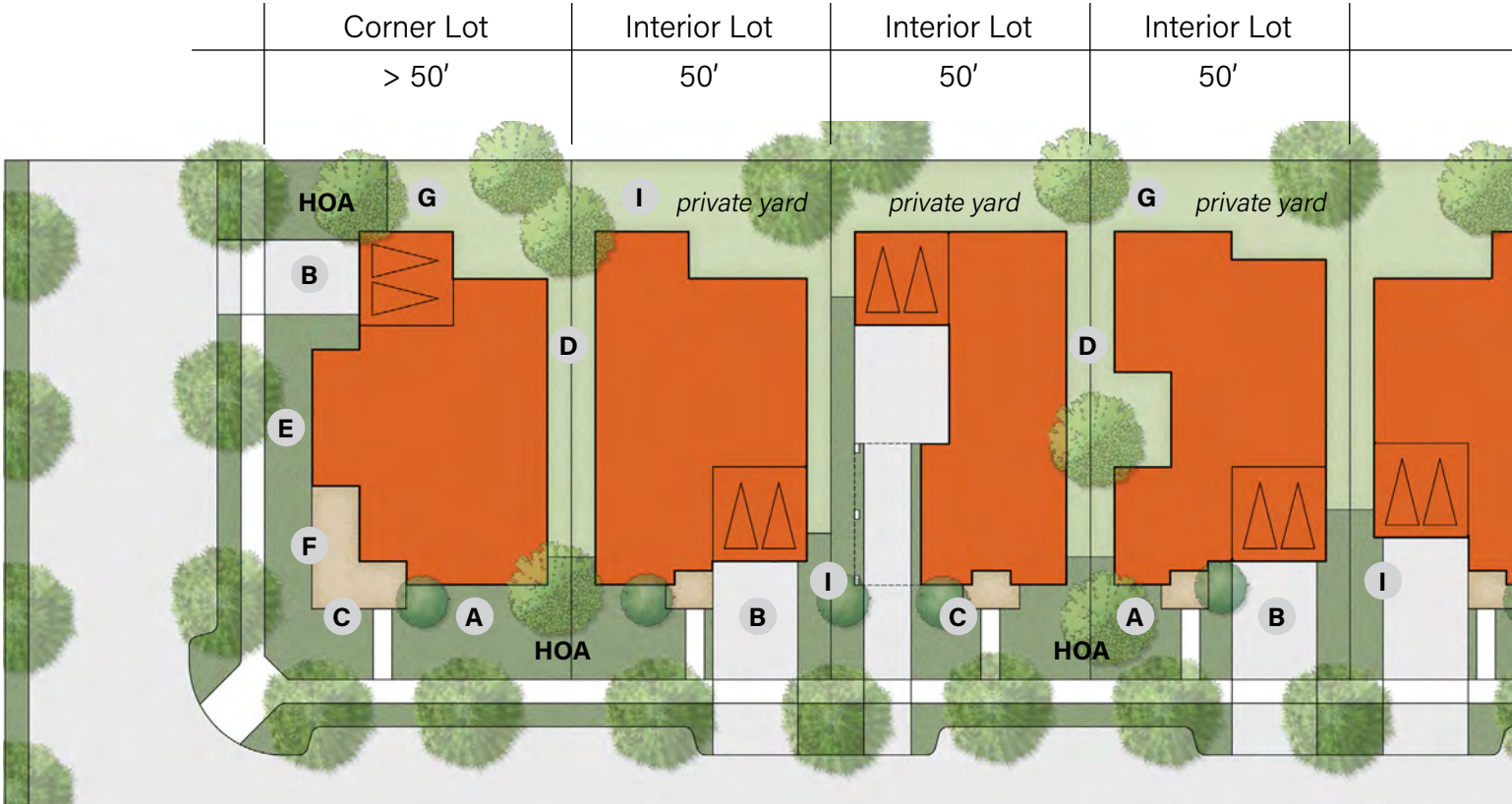
The design guidelines require the garage is setback from the main facade to minimize its appearance on the facade to maintain a great streetscape. Generous backyards can be achieved with options to have a covered porch extend up to 6’ from the rear property line.

FRONT-LOADED X SFD (SINGLE-FAMILY DETACHED)

CRITERIA	MIN.	NOTES
Lot Size	50' x 110'	
Lot Width	50'	
Corner Lot Width	> 50'	
Lot Depth	110'	
Maximum Building Height	2 stories	
Home Size Range		

SETBACKS		
Front to Building	A 20'	a variable setback is encouraged I
Front to Garage	B 30'	should be recessed from facade
Front to Unenclosed Porch	C 16'	
Side to Building	D 5'	
Side to Building at Corner Lot	E 8'	
Side to Unenclosed Porch (corner)	F 5'	
Rear to Building	G 10'	a variable setback is encouraged I
Rear to Unenclosed Patio	H 5'	

Note: Fence lines are conceptual in nature. Actual locations to be determined per product plotting plan.



Building Standards Diagram

Axonometric View

FRONT-LOADED X ZIPPER LOT

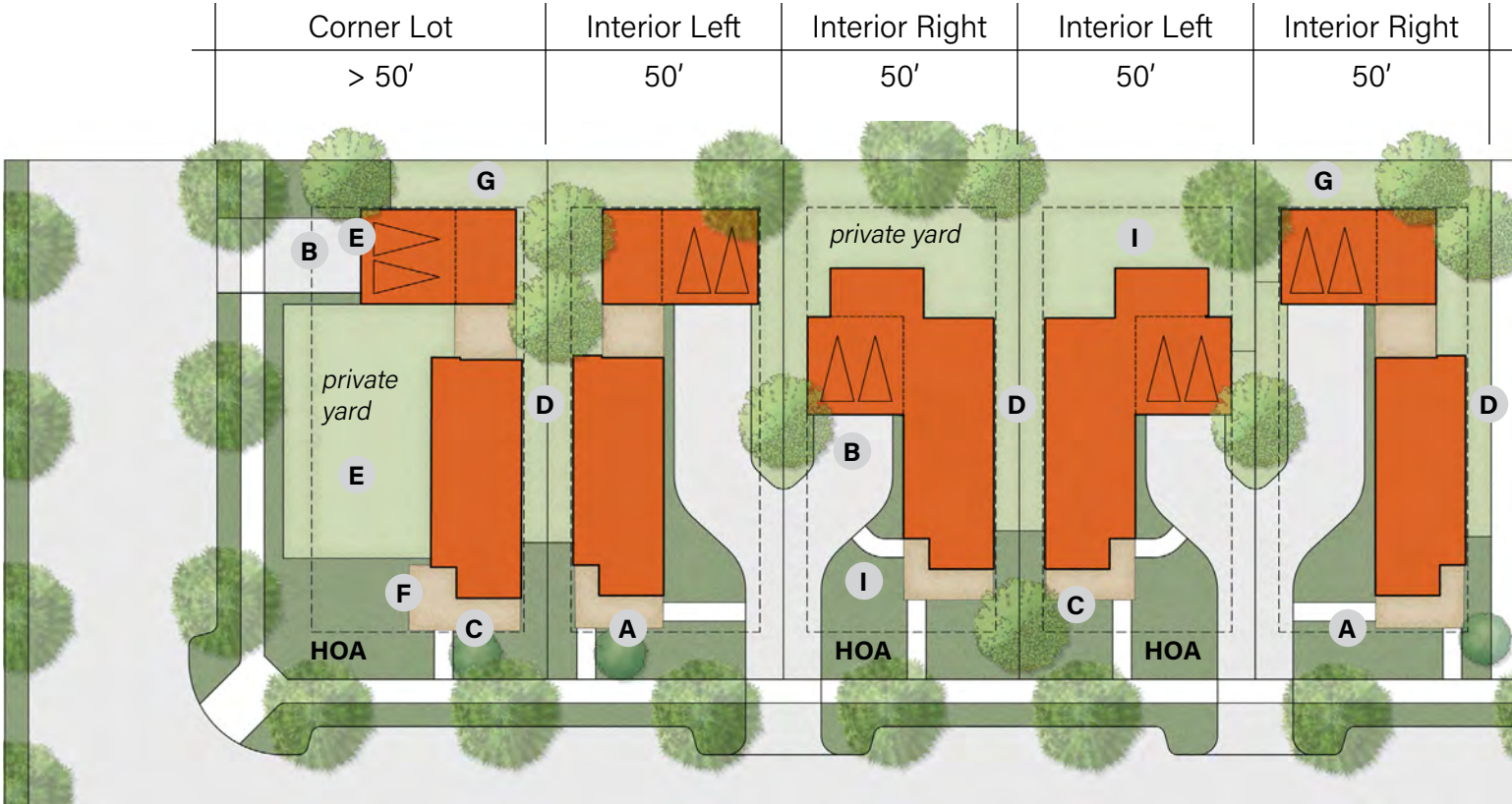
The Moxie front-loaded single-family detached Zipper Lot creates a unique experience for potential buyers. The zipper lot offers builders the opportunity to break up the traditional street scene with varied home front, detached garages, and home product with architecture forward and garages set back. Site Develo

FRONT-LOADED X ZIPPER LOT (SINGLE-FAMILY DETACHED)

CRITERIA	MIN.	NOTES
Lot Size	50' x 110'	
Lot Width	50'	
Corner Lot Width	> 50'	
Lot Depth	110'	
Maximum Building Height	2 stories	
Home Size Range		

SETBACKS		
Front to Building	A 10'	a variable setback is encouraged I
Front to Garage	B 20'	
Front to Unenclosed Porch	C 16'	
Side to Building (interior lot line)	D 5'	
Side to Building at Corner ROW	E 10'	
Side to Unenclosed Porch	F 5'	at corner lot scenario
Rear to Building	G 10'	a variable setback is encouraged I
Rear to Unenclosed Patio	H 5'	

Note: Fence lines are conceptual in nature. Actual locations to be determined per product plotting plan.



Building Standards Diagram



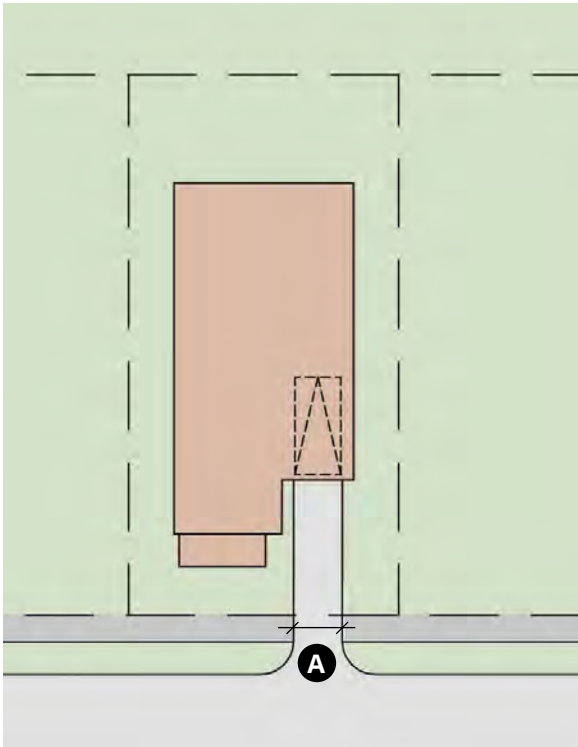
Axonometric View

DRIVEWAYS

The Moxie street scene is directly impacted by garages and driveways and requires thoughtful design and placement.

In addition to lot setbacks and easements, driveway paving may extend no more than one foot (1') on either side of the garage opening.

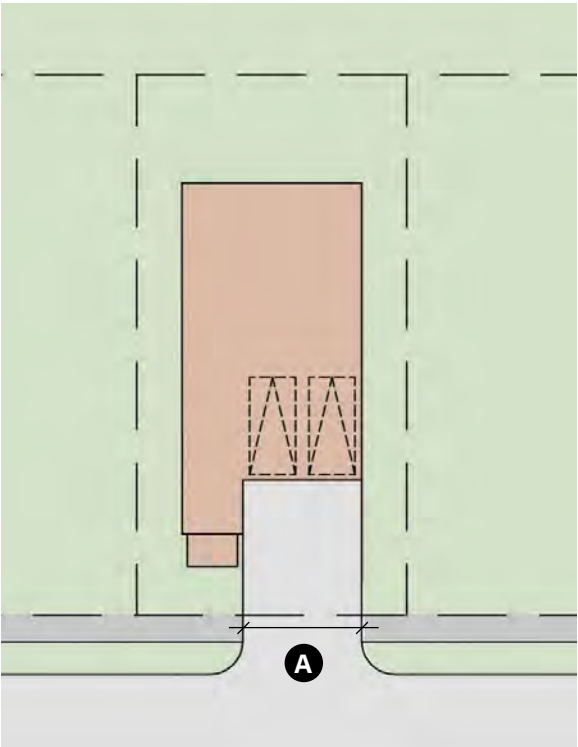
All driveway placements to be shown on individual plot plan submissions.



SINGLE-CAR GARAGE

Single-car garages to have a consistent driveway width from garage opening to curb cut at street or alley.

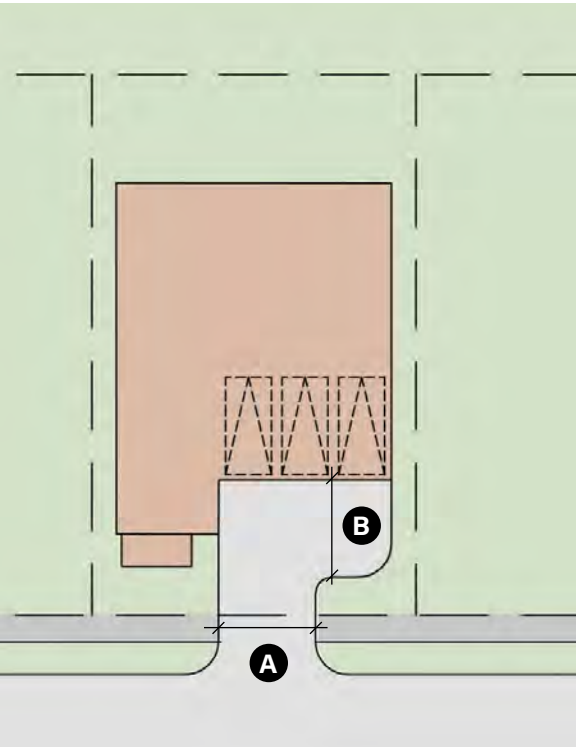
- A** Maximum width 12'-0"



TWO-CAR GARAGE

Standard two-car garages to have a consistent driveway width from garage opening to curb cut at street or alley.

- A** Maximum width 22'-0"



THREE-CAR GARAGE

Three-car garages to transition from three-car wide at garage opening to two-car wide at street or alley.

- A** Maximum width 22'-0" at street or alley
- B** Start of radius for curve of third car drive to be 18'-0" from garage opening



06

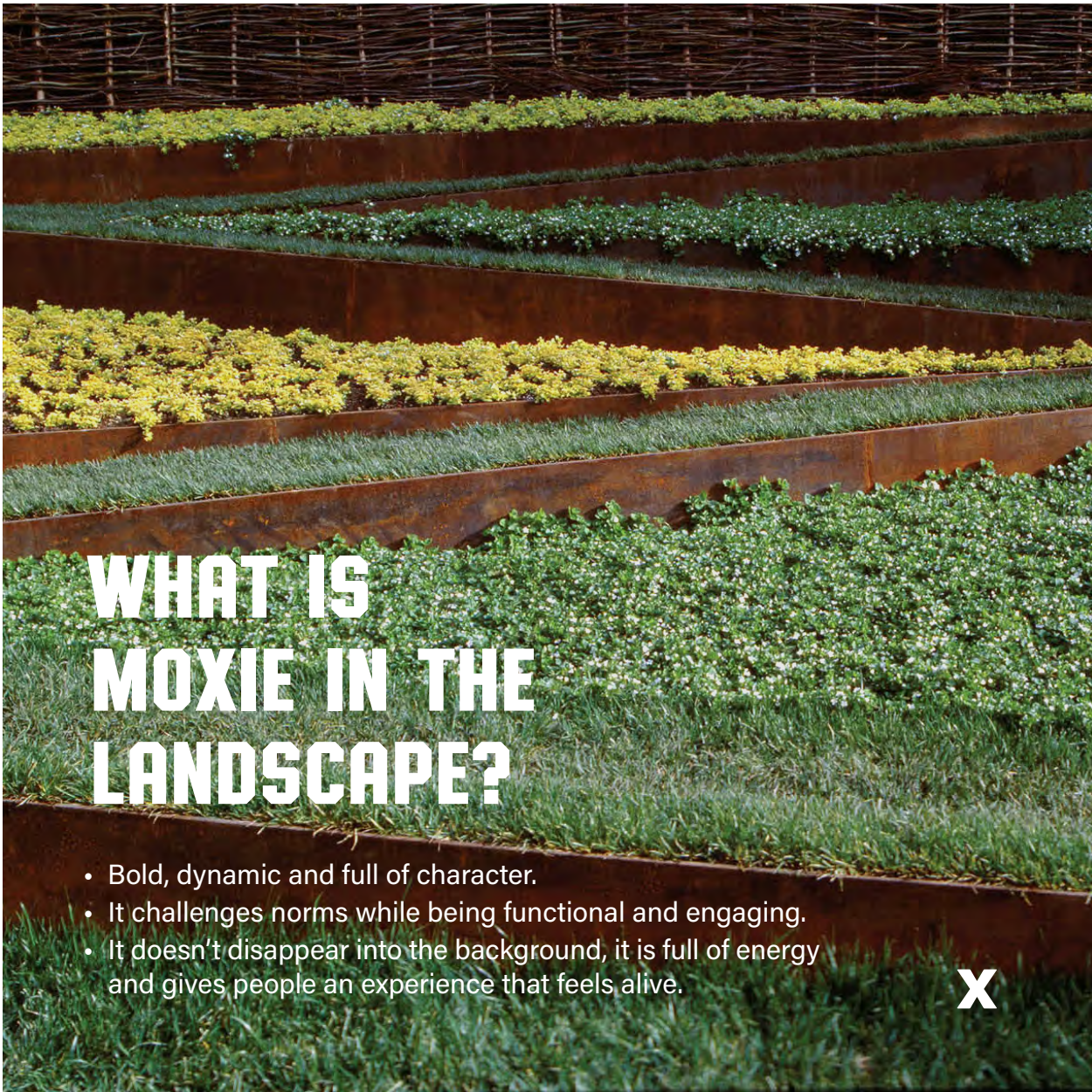
LANDSCAPE STANDARDS

This section provides design guidelines related to the landscape character for lots and streetscapes. These guidelines are intended to create a rich and diverse neighborhood character at Moxie. We will seek to promote community pedestrian zones through an extensive street tree network.

- DESIGN PRINCIPLES
- PREFERRED PLANTING PALETTE
- PLANTING REQUIREMENTS
- LANDSCAPE PLANTING DETAILS
- LANDSCAPE ZONES
- PARKWAY STRIP LANDSCAPE
- FRONT YARD LANDSCAPE
- REAR YARD LANDSCAPE
- FENCING STANDARDS
- FENCES
- STREET TREE PROGRAM

DESIGN PRINCIPLES

Design Principles are the foundation of the Design Guidelines.



WHAT IS MOXIE IN THE LANDSCAPE?

- Bold, dynamic and full of character.
- It challenges norms while being functional and engaging.
- It doesn't disappear into the background, it is full of energy and gives people an experience that feels alive.



SURFACES

- Topography with attitude
- Sculpted landforms
- Bold geometric forms, shapes and spaces
- Pavement with personality



PLANTING DESIGN

- Wild but designed planting
- Unexpected plant selections
- Seasonal explosions of color
- Extremely hardy, low maintenance—all native to Texas



INTEGRATION TO OPEN SPACE

- Residential landscapes that connect to the parks and trails network
- Open fencing where our homes abut open space



LANDSCAPE ELEMENTS

- Play equipment that looks like art
- Artful lighting that changes the mood of the space at night
- Benches that command attention
- Striking picnic pavilions
- Zig-zagging community picnic tables amplify the park
- Interactive and engaging experiences: music, events, water



PEDESTRIAN ZONES

- Streetscapes at a human scale
- Tree network that encourages walking, even in the Texas heat
- Front yards that encourage playing together



PREFERRED PLANTING PALETTE

Residential Landscape Standards

At Moxie, we aim to encourage the use of native and adapted plant species. The plant palette here represents the preferred list of species. In an effort to reduce homogeneity, we also refer to the ‘Grow Green Guide’ for additional permitted plant species and best practices. Please refer to the ‘Grow Green Guide’ for a list of invasive plants that are not permitted.

All sod areas should be Tifway 419 Bermuda.

PLANTING PALETTE

LARGE CANOPY TREES		
Platanus mexicana	Mexican Sycamore	D
Taxodium distichum	Bald Cypress	D
Quercus macrocarpa	Bur Oak	D
Ulmus crassifolia	Cedar Elm	D
Quercus virginiana	Live Oak	SE
Carya illinoensis	Pecan	D
Prosopis glandulosa 'Maverick'	Thornless Mesquite	D
Quercus polymorpha	Monterrey Oak	SE
Quercus muhlenbergii	Chinkapin Oak	D
Quercus shumardii	Red Oak	D
SMALL TREES / LARGE SHRUBS		
Tecoma stans	Yellow Bells	D
Myrica cerifera	Wax Myrtle	E
Ilex vomitoria	Yaupon Holly	E
Ilex decidua	Possumhaw	D
Diospyros texana	Texas Persimmon	SE
Cercis canadensis var. texensis	Texas Redbud	D
Cupressus arizonica	Arizona Cypress	E
Parkinsonia aculeata	Thornless Palo Verde	SE
Prunus mexicana	Mexican Plum	D
Rhus lanceolata	Prairie Flameleaf Sumac	D
Chilopsis linearis	Desert Willow	D
Viburnum rufidulum	Rusty Blackhaw Viburnum	D
Prunus caroliniana	Cherry Laurel	E
Bauhinia lunarioides	Anacacho Orchid	D

D – Deciduous SE – Semi Evergreen E – Evergreen		
GRASSES & SEDGES		
Muhlenbergia capillaris	Gulf Muhly	D
Muhlenbergia lindheimeri	Big Muhly	D
Bouteloua gracilis 'Blonde Ambition'	Blonde Ambition Grass	D
Chasmanthium latifolium	Inland Sea Oats	D
Carex perdentata	Meadow Sedge	E
Bouteloua curtipendula	Sideoats Grama	D
Panicum virgatum	Switchgrass	D
Schizachryium scoparium	Little Bluestem	D
GROUND COVER		
Scutellaria wrightii	Wright's Purple Skullcap	P
Scutellaria suffretescens	Pink Skullcap	P
Symphoricarpos orbiculatus	Coralberry	D
Phyla nodiflora	Frogfruit	D
Rudbeckia hirta	Black-Eyed Susan	D
Artemisia 'Powis Castle'	Powis Castle Artemisia	E
Melampodium leucanthum	Blackfoot Daisy	SE
Lantana montevidensis	Trailing Lantana	SE
Conoclinium greggii	Blue Mistflower	D
Salvia leucantha	Mexican Bush Sage	D
Echinacea purpurea	Purple Coneflower	D
Wedelia texana	Zexmenia	SE
Bignonia capreolata	Crossvine	SE
Lonicera sempervirens	Coral Honeysuckle	SE
Stemodia lanata	Wooly Stemodia	D
Dichondra argentea	Silver Ponyfoot	SE
Symphyotrichum oblongifolium	Fall Aster	D

*For full acceptable plant list and restricted species, see Native and Adapted Grow Green Guide Plant List. Note on B category and B/E.

PLANTING REQUIREMENTS

Residential Landscape Standards

SINGLE-FAMILY HOME PLANTING REQUIREMENT: 50’ X 120’ LOT

PARKWAY STRIP LANDSCAPE									
Trees (shade)		Trees (ornamental)		Sod		Shrubs		Mulch	
interior	corner	interior	corner	interior	corner	interior	corner	interior	corner
1	2 (adtl)	0	0	100%	100%	0%	0%	0%	0%
				100%	100%	0%	0%	0%	0%

Note: Ornamental trees may NOT be substituted for shade trees within the parkway strip.

Note: Trees are not calculated in surface area percentage.

Note: Corner lot requirements are in addition to the interior lot quantities.

FRONT YARD LANDSCAPE									
Trees (shade)		Trees (ornamental)		Sod		Shrubs / Grasses		Mulch	
interior	corner	interior	corner	interior	corner	interior	corner	interior	corner
						15	10 (adtl)		
				60% (max)	60% (max)	20% (min)	20% (min)	20% (max)	20% (max)

**Note: Two (2) ornamentals can be planted in place of the one (1) front yard tree required.*

Note: Trees are not calculated in surface area percentage.

Note: Corner lot requirements are in addition to the interior lot quantities.

REAR YARD LANDSCAPE									
Trees (shade)		Trees (ornamental)		Sod		Shrubs		Mulch	
interior	corner	interior	corner	interior	corner	interior	corner	interior	corner
1*	no adtl	2*	no adtl						
				80% (max)	80% (max)	10	no adtl	80% (min)	80% (min)

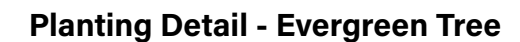
**Note: Two (2) ornamentals can be planted in place of the one (1) rear yard tree required.*

Note: Trees are not calculated in surface area percentage.

Note: Corner lot requirements are in addition to the interior lot quantities.



Residential Landscape Standards



LANDSCAPE ZONES

Lot Landscaping Guidelines

PARKWAY STRIP

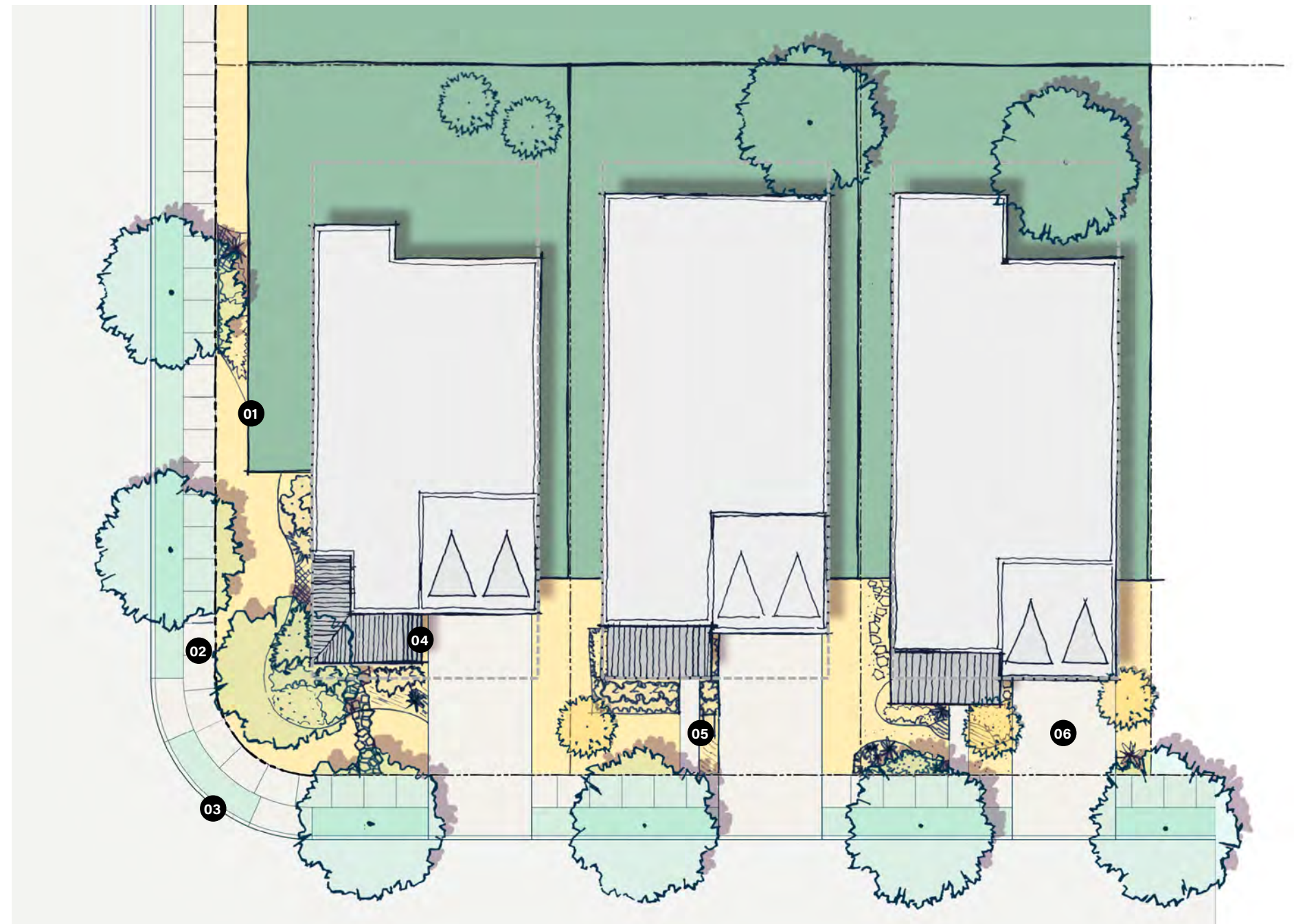
Defined as the area between the street back of curb and the sidewalk. This area excludes all concrete driveways and aprons. The parkway strip is within the public right of way but maintained by the homeowner.

FRONT YARD

Defined as the area between the front of the house and the edge of the public right of way. On a corner lot condition, the area between the home façade or the fenceline is also considered front yard.

REAR YARD

Defined as the private area behind homes bounded by fencing.



- 01 Residential fence
- 02 Sidewalk
- 03 Parkway

- 04 Front Porch
- 05 Residential walk
- 06 Residential driveway

PARKWAY STRIP LANDSCAPE

Lot Landscaping Guidelines

DESIGN INTENT

At Moxie, our Parkway Strip is an integral part of the landscape experience for the community. Our goal is to create a shaded sidewalk for pedestrians, discourage fast drivers, and creates a sense of place on our residential roadways. This will be achieved through the use of well-maintained street trees and turf grass.

DEFINITION

The Parkway Strip is defined as the area between the street back of curb and the sidewalk. This area excludes all concrete driveways and aprons. The parkway strip is within the public right of way but maintained by the homeowner.

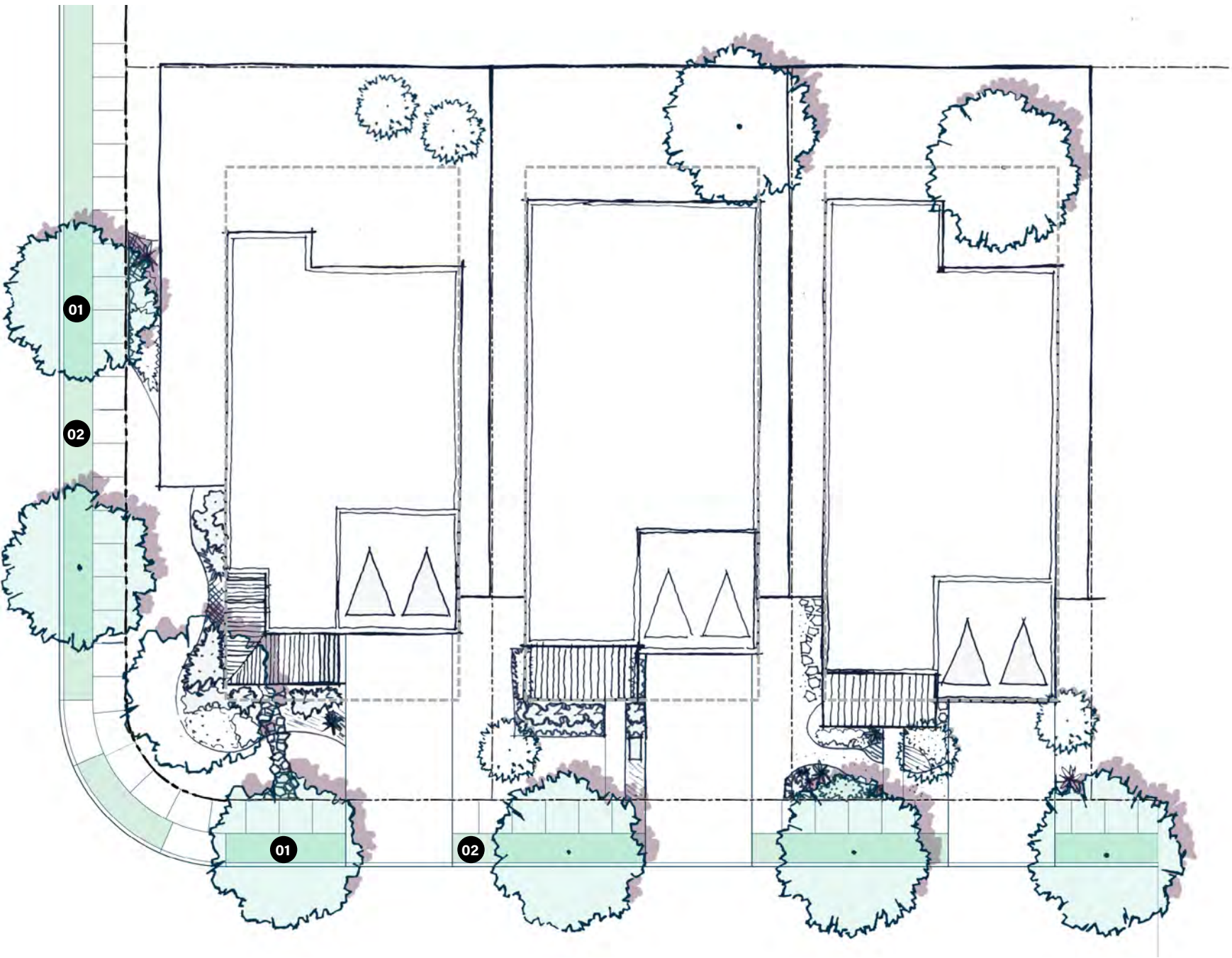
Sod: Tifway 419 Bermuda

Turf Areas: Artificial turf not permitted within the parkway strip.

Irrigation: All landscape areas will have full, permanent irrigation to ensure all the trees and turf are healthy and vibrant.

Reference Street Tree Master Plan for tree species.

Reference Preferred Planting Palette.



- 01 Street trees
- 02 Turf areas

FRONT YARD LANDSCAPE

Lot Landscaping Guidelines

DESIGN INTENT

At Moxie, we seek to provide flexibility in the front yard for builders and residents to make these spaces their own. We encourage the use of native plant materials and xeriscaping where possible.

DEFINITION

The front yard is defined as the area between the front of the house and the edge of the public right of way. On a corner lot condition, the area between the home façade or the fence line is also considered front yard.

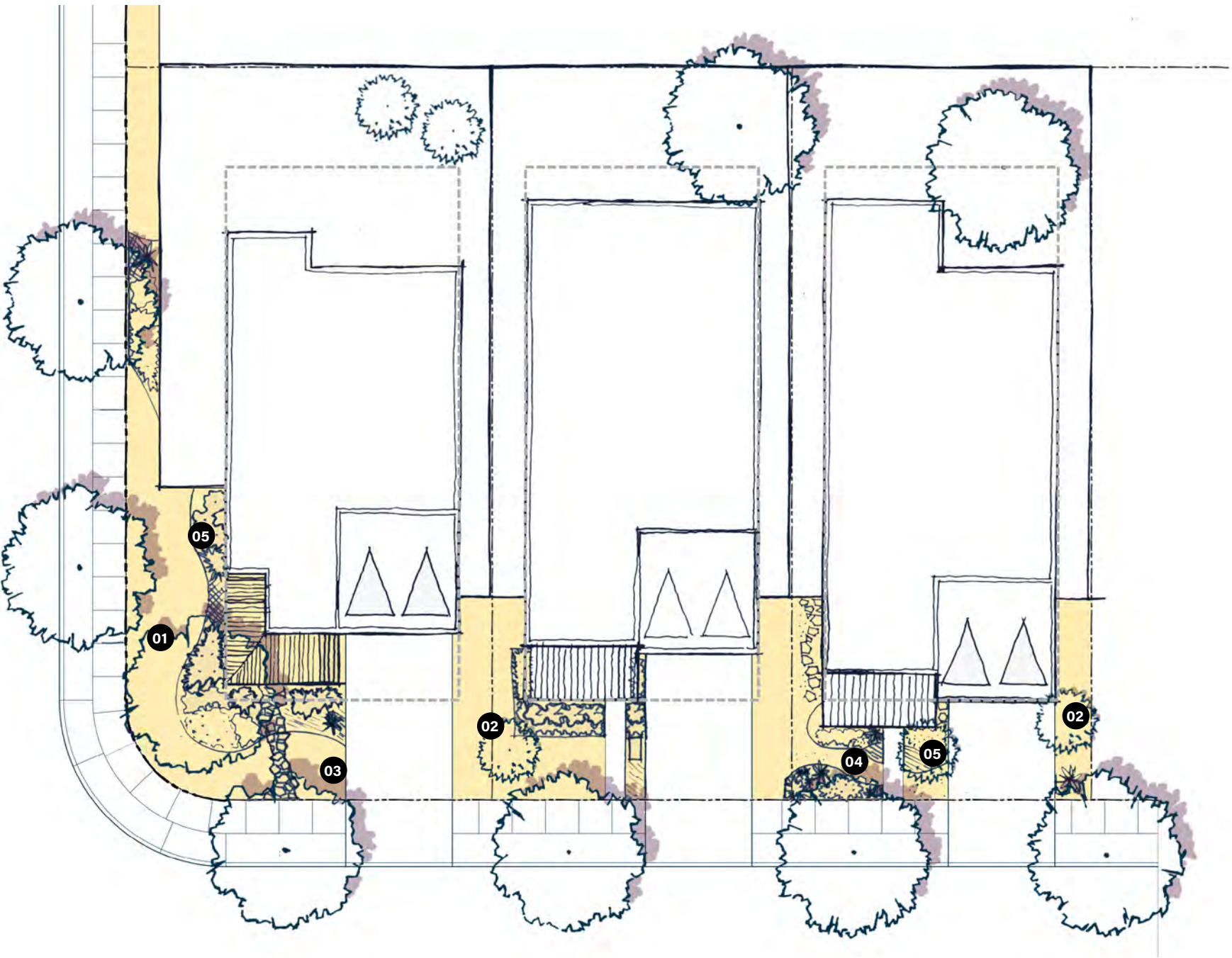
Sod: Tifway 419 Bermuda

Turf Areas: Artificial turf not permitted within the parkway strip.

Ground Cover Alternatives: Mulch, washed gravel, low plantings.

Irrigation: all landscape areas will have full, permanent irrigation to ensure all the trees, turf, and shrubs are healthy and vibrant. If ground cover alternatives are employed, these areas may be permitted without irrigation.

Reference Preferred Planting Palette.



- 01 Front yard shade tree
- 02 Front yard ornamental tree
- 03 Turf area
- 04 Xeriscape groundcover
- 05 Landscape beds

REAR YARD LANDSCAPE

Lot Landscaping Guidelines

DESIGN INTENT

Rear yards at Moxie are private spaces for residents, but we will encourage engagement with our trails and parks where rear or side property lines abut open spaces. To encourage a robust tree canopy throughout the community, we will require rear yard trees and irrigation.

DEFINITION

The rear yard is defined as the private area behind homes bounded by fencing.

Sod: Tifway 419 Bermuda

Ground Cover Alternatives: Mulch, washed gravel, low plantings.

Irrigation: All landscape areas will have full, permanent irrigation to ensure all the trees, turf, and shrubs are healthy and vibrant. If ground cover alternatives are employed, these areas may be permitted without irrigation.

Planting Style: Planting should blend the native plant palette and feature free-form planting with soft edges. The meandering planting beds with ornamental grasses, annuals, perennials and shrubs soften the rigid lines of the house. This planting style mimics nature, uses diversified plant species, improves wildlife habitat, and reduces maintenance costs.

Reference Preferred Planting Palette.

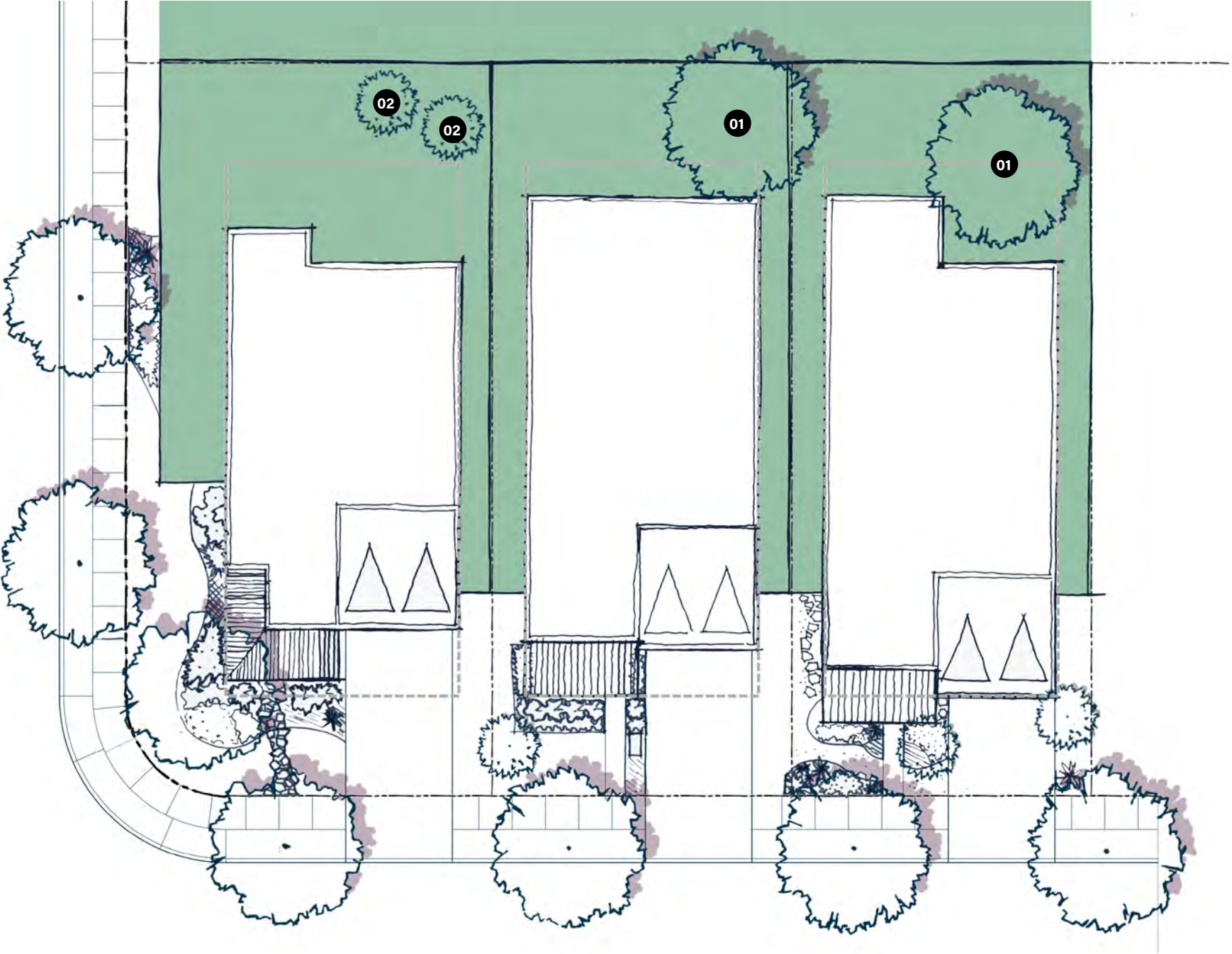
KEY CHARACTERISTICS

Layering high to low from foundation.

Gradual transitions to lawn.

Mixed perennial beds frequently used.

Irregular spaced plants, generally in masses.



- 01 Rear yard shade tree
- 02 Rear yard ornamental tree

FENCING STANDARDS

Residential Lot Diagram

STANDARDS

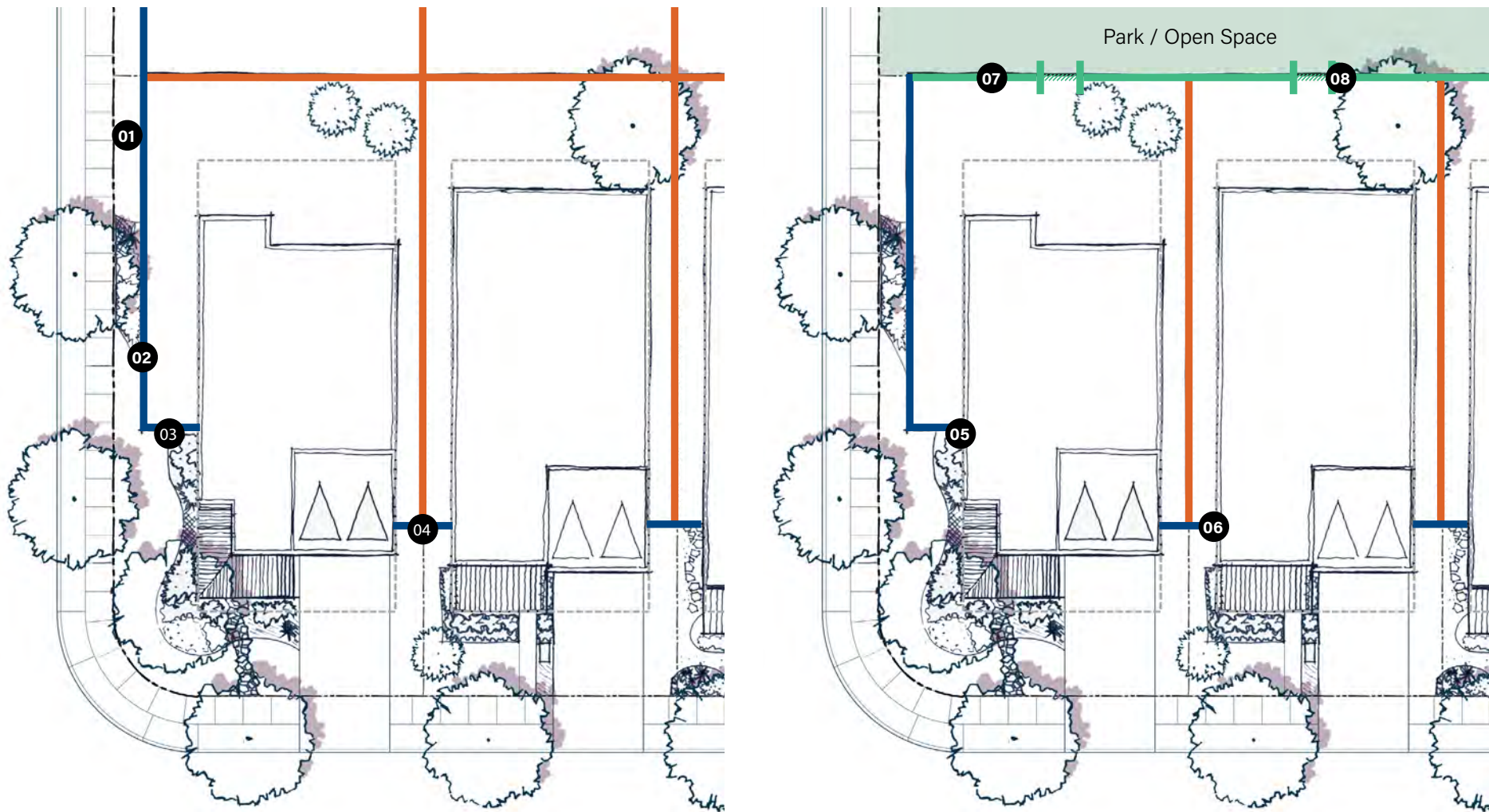
Fences should be compatible with the design, materials, and colors of the principle structure.

Any fence facing a public street shall be upgraded cedar with "good side" facing toward the street or public area.

Builder shall provide a minimum 5' wide living screen between the fence and sidewalk on the street side of all corner lots. This requires the Type A fence be setback from the sidewalk at least 5'.

Type A fence that's on the front street should be set back 20' minimum from the front building facade.

Reference Phase One Fence Diagram.



Fence Types

Type A: Upgraded Cedar Fence

Type B: View Fence

Type C: Developer Fence

Type D: Cedar Builder Fence

Upgraded Cedar Fence may be used in lieu of Cedar Builder Fence



Gate

01 5' minimum side setback

02 Upgraded cedar fence on corner lots

03 Upgraded cedar on fencing facing rights of way

04 Side fences must align, builders must coordinate alignment

05 Minimum 20' setback from front facade of home on corner condition

06 Minimum 15' setback, maximum 25' setback from front facade of home; coordinate alignment with adjacent builder

07 View fence on any rear or side fence facing open space

08 Gate connection to park space required. In conditions where home backs and sides to open space, only one gate to open space is required.

FENCES

Phase One Fence Diagram

STANDARDS

Fences should be compatible with the design, materials, and colors of the principle structure.

Any fence facing a public street shall be upgraded cedar with "good side" facing toward the street or public area.

Builder shall provide a minimum 5' wide living screen between the fence and sidewalk on the street side of all corner lots. This requires the Type A fence be setback from the sidewalk at least 5'.

Type A fence that's on the front street should be set back 20' minimum from the front building facade.

Reference Residential Lot Diagram for individual lot standards.



Fence Types



Fence Type A: Upgraded Cedar Fence (screening)



Fence Type B: View Fence



Fence Type C: Developer Fence



Fence Type D: Cedar Builder Fence



STREET TREE PROGRAM

Street Tree Master Plan

STANDARDS

The street tree master plan is provided to direct the placement of street trees in the parkway strip that front on and side to residential rights of way. Tree type and placement are color-coded and indicated on the street tree master plan.

All street trees to be installed by home builder except trees in common areas.

All street trees are to be spaced at approximately 50' o.c. reference planting details.

For streets designated with more than one tree species, same tree species can not be planted in groups of more than four (4) along the street parkway.



Builder Installed Tree

- Cedar Elms
- Shumard Oak
- Mexican White Oak

Developer Installed Tree

- Developer Installed Tree





07

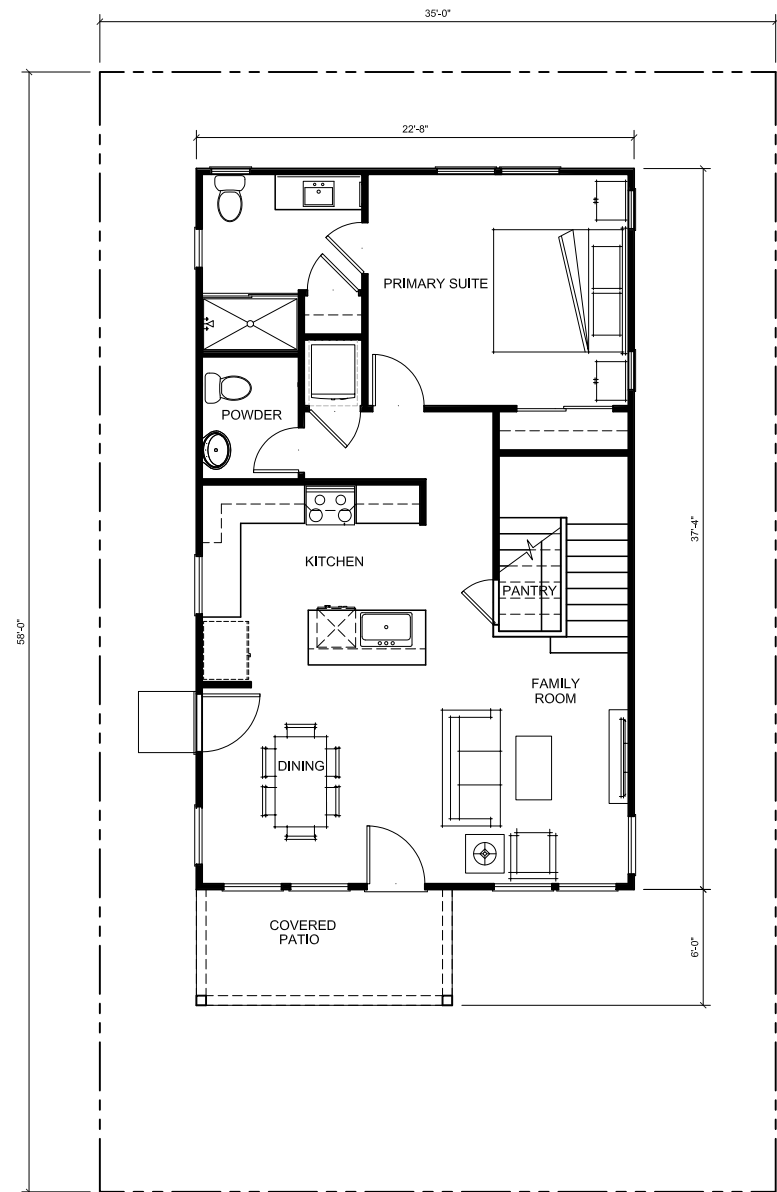
MASTER PLAN SUBMITTAL
PROJECT APPROVAL PROCESS
PLAN REVIEW & INSPECTION
FEE SCHEDULE
ARCHITECTURAL PLAN REVIEW
SUBMITTAL CHECKLIST
BUILDER CONSTRUCTION GUIDELINES

IMPLEMENTATION

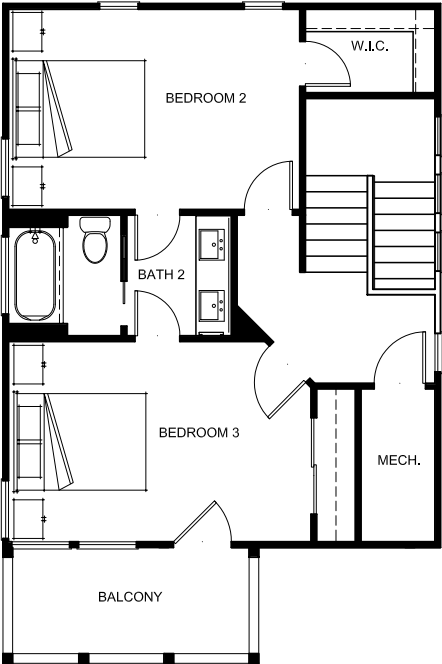
This section delineates the process for submitting projects to the Moxie Architectural Review Committee (MxARC) to ensure proposed designs achieve the architectural and landscape guidelines in this document. The following pages provide a graphic representation of the full Project Approval Process.

The Project Approval Process is handled over three stages beginning with Project Initiation meetings and followed by separate submittal and review of plan packages for architecture and landscape. All proposed development within Moxie is required to follow this process. All plan packages will be electronically submitted to MxARC online through the APRTac platform.

FLOOR PLANS



FIRST FLOOR



SECOND FLOOR

MASTER PLAN SUBMITTAL - MxARC Review



Date: 04/16/2025
Builder Partner: Red Oak Development
Plan Type: Plan 1
Elevation Style: Modern Farmhouse

ELEVATION



COLOR SCHEME A



Commercial White
PPG1025-1



Gooseberry
PPG1048-7



Onyx
PPG1011-7



Weathered Wood



Zinc-Cote™

COLOR SCHEME B

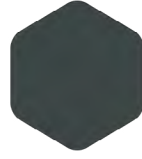
ALTERNATE COLOR SCHEME; NOT SHOWN IN GRAPHIC



Cool Charcoal
PPG1007-6



Willow Springs
PPG1007-1



Dark As Night
PPG14-05

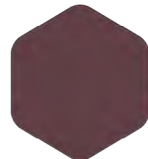


Barkwood

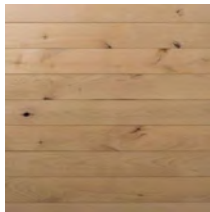


Preweathered
Galvalume®

DETAILS: ACCENT COLORS, MATERIALS, ARCHITECTURAL FEATURES, ETC.



Gooseberry
PPG1048-7

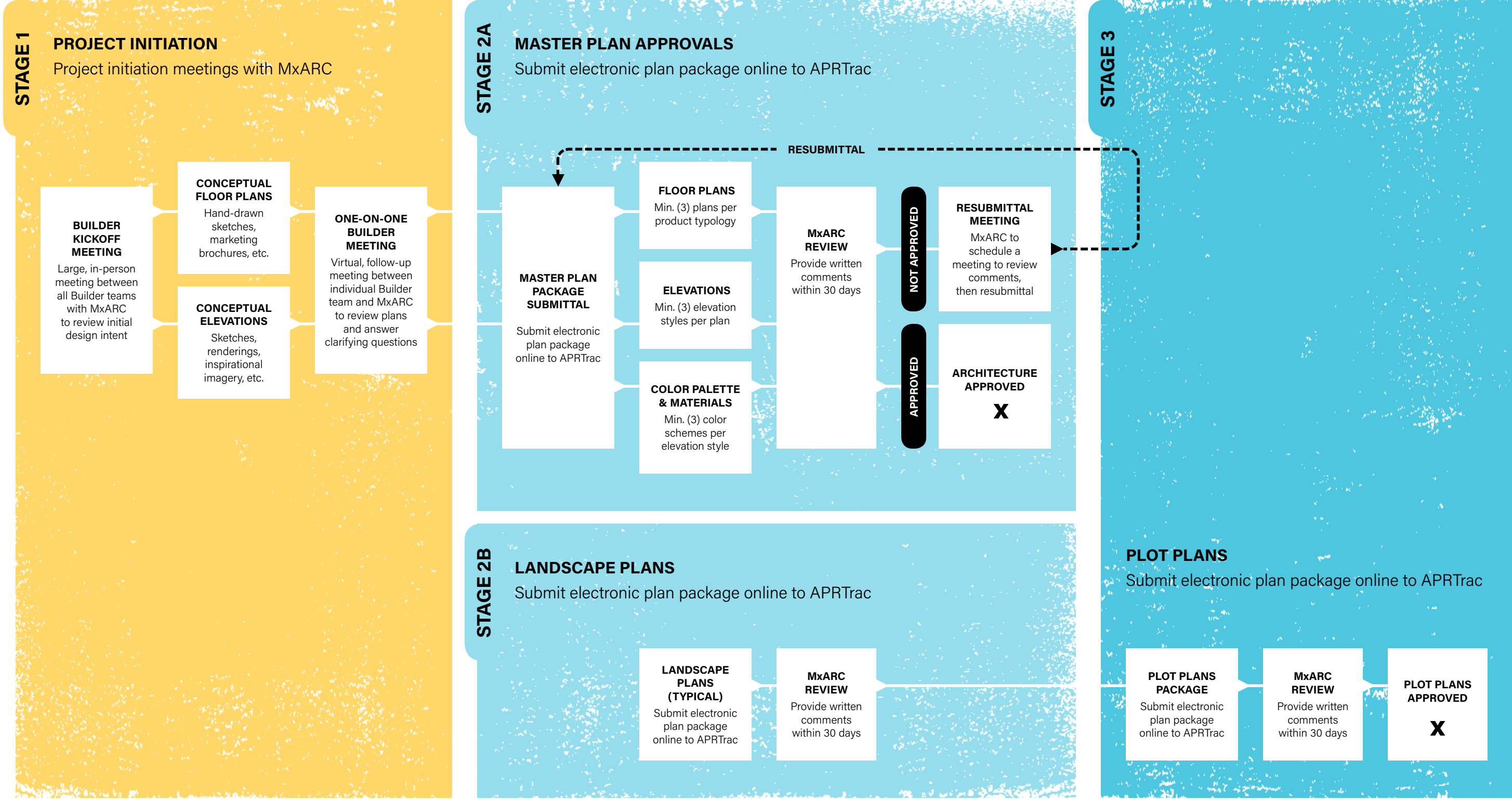


MASTER PLAN SUBMITTAL - MxARC Review

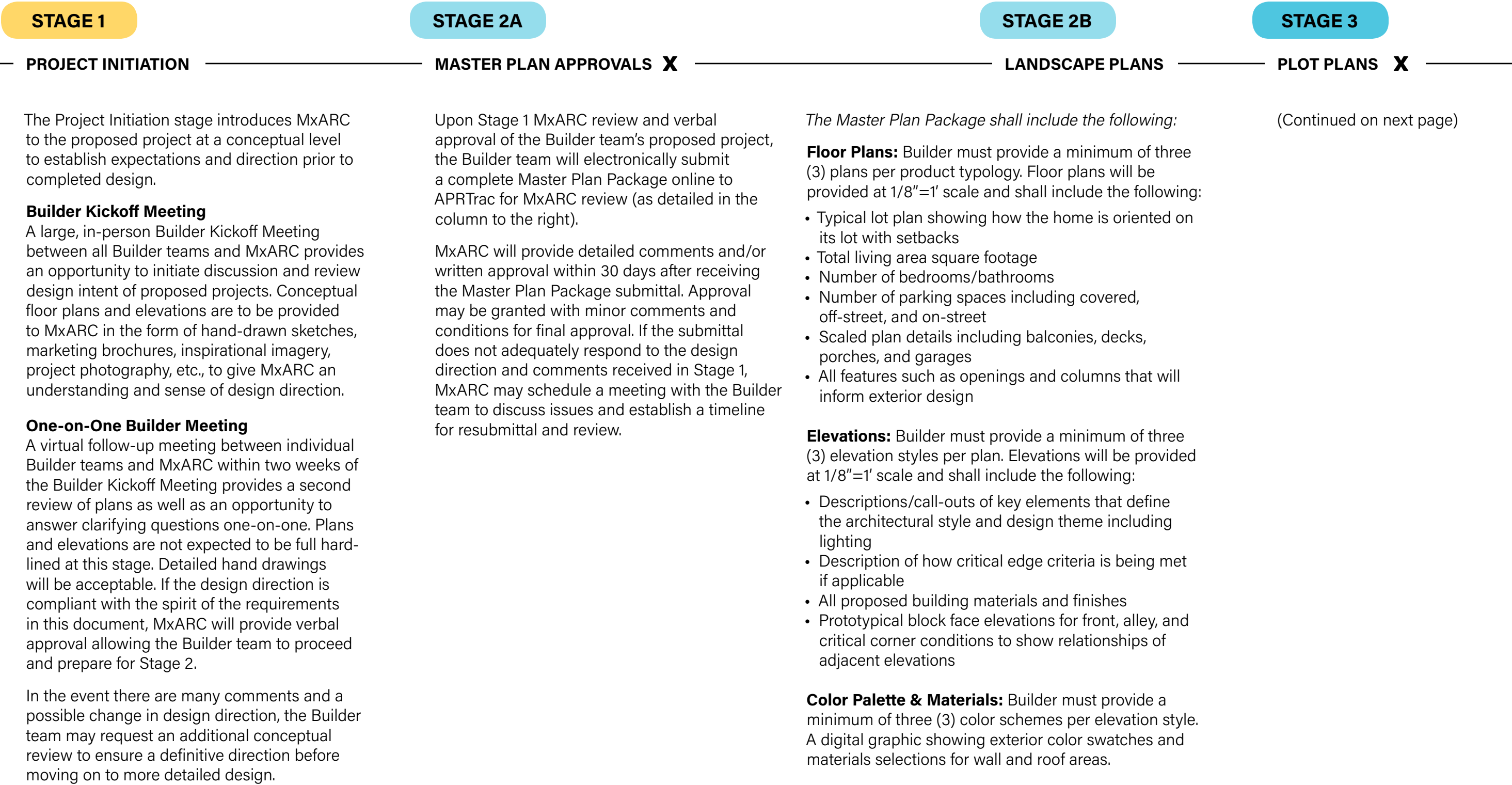


Date: **04/16/2025**
Builder Partner: **Red Oak Development**
Plan Type: **Plan 1**
Elevation Style: **Modern Farmhouse**

PROJECT APPROVAL PROCESS



PROJECT APPROVAL PROCESS



PROJECT APPROVAL PROCESS

STAGE 2B

LANDSCAPE PLANS

Landscape Plans will also be submitted in Stage 2 to show how the project intends to meet landscape requirements as defined in this document.

Landscape Plans may be electronically submitted as part of the Master Plan Package submittal in Stage 2A, or separately online to APRTTrac for MxARC review (as detailed in the column to the right).

MxARC will provide detailed comments within 30 days after receiving the Landscape Plans submittal. Comments received in this stage, shall be addressed in the final Plot Plans Package submittal in Stage 3.

Landscape Plans shall include the following:

Landscape Plans: Builder must have the minimum number of “typical” landscape designs as defined in this document at an appropriate scale to show adequate detail and shall include the following:

- Building foundation, walkway, and alley apron plantings
- Delineated turf areas, gravel areas, and landscape beds indicating the type of edging proposed between uses
- Street tree location(s)
- Proposed screening of visible utility elements

STAGE 3

PLOT PLANS X

Final Plot Plans responding to Landscape Plans comments received in Stage 2B will be electronically submitted online to APRTTrac for MxARC review (as detailed in the column to the right).

Plot Plans shall be presented at 1/4”=1’-0” or 1”=10’-0”, or at a scale that adequately shows the detail necessary to ensure the guidelines within this document are being met.

Landscape plans shall indicate the species, sizes, and quantities of all plant material, and shall be selected from the approved community plant list as defined in this document.

MxARC will provide detailed comments and/or written approval within 30 days after receiving the Plot Plans Package submittal. Approval may be granted with minor comments and conditions for final approval. If the submittal does not adequately respond to the comments received in Stage 2B, MxARC may schedule a meeting with the Builder team to discuss issues and establish a timeline for resubmittal and review.

The Plot Plans Package shall include the following:

Final Site Plans for each lot at an appropriate scale to show setbacks and proposed sidewalks, drives, decks, and porches, etc.; as well as lot coverage statistics.

Final Landscape Plans (Typicals) per Lot: Total number as necessary per the requirements set in this document.

Overall Plant List including mulch/ground cover selection.

Soil Preparation Specification

Full Irrigation Plan including proposed zones with run times and gallons per minute.

Proposed Fencing Plan showing types of fencing and materials as defined in this document.

Final Keyed Landscape Plotting Plan showing where typical plans are applied to which lots.

PLAN REVIEW & INSPECTION FEE SCHEDULE

Architectural Plan Review, LLC assesses the following fees and fines, related to the plan review and home inspection process.

MASTER PLAN REVIEW FEES	
Master Plan (Floor Plan & Elevation Construction Set) Original Submittal with Up to 4 Elevations	\$300
• Additional Elevations with original submittal	\$50/each
• Additional Elevations submitted 30 or more days after the review is completed will be treated as a New Master Plan Submittal.	
Master Landscape Plan (Interior or Corner) Original Submittal	\$100

PLOT PLAN REVIEW FEES	
Plot Plan Original Submittal	\$275
Variance Request	\$200

INSPECTION FEES	
Initial Inspection: Included with Plot Plan Review Fee	Included
Secondary Inspection	\$100
Third Inspection	\$200
Fourth and Subsequent Inspections	\$400

Fees for plan reviews are due at time of submittal via CC. Unpaid reviews will be invoiced to the builder on a weekly basis.

Credit card payments are preferred. Checks are accepted. Credit Card payments may be made at any time via the PAYMENT tab within your APRTrac dashboard.

Please provide a reference number or your payment may not be credited. Delayed payments may result in delayed return of plan reviews.

FINES ASSOCIATED WITH REVIEW PROCESS	
Failure to Request Inspection at least 7 days Prior to Closing	\$100
Construction Start without Written Approval of Plans from APR	\$500
Closing without an Inspection and obtaining Certificate of Completion (COC)	\$500

Fines are communicated to the builders via an invoice from APR Accounting.

apracounting@archplanreview.com
Architectural Plan Review, LLC
1118 N. 1st Street
Temple, Texas 76501
254-791-8010

www.archplanreview.com



ARCHITECTURAL PLAN REVIEW SUBMITTAL CHECKLIST

All plans and inspection requests must be submitted through APRTrac. You may log in at www.archplanreview.com and navigate to the Builder Login page. Please ensure you are registered prior to submitting. Contact APR with any questions.

MASTER PLANS

Master Plans must be submitted and approved prior to offering for sale in the community.

SUBMITTAL PROCEDURE
X Log in to www.archplanreview.com and navigate to APRTrac Login.
X Click your Community.
X Click "Master Plans".
X Click "Add New".
X Complete all fields.
X Click "Save" (this feature allows you to stop the submittal and come back later, if needed).
X Click "Edit" and complete the fields on the next page.
X Add any Comments for the Reviewer.
X Click "+Add" to Upload Master Plan, including: <ul style="list-style-type: none">Floor PlanAll ElevationsMasonry PercentageAll Option pages, including additional square feet of living areaPlan Specific Garage Door and Front Door
X Upload Specifications for the Plan Series (one time per Community Section, only).
X Click "Save".
X Check that all fields are correct and complete. Click "Submit to APR".
X Pay Review Fee Payment On-Line (preferred) or Mail Plan Review Fee Check made out to Architectural Plan Review, LLC. *Special conditions may apply. See your specific Fee Schedule for instructions.
X Pay Variance Request Fee On-Line or Mail, if variance required (i.e. plan under/over-sized, or other).
X Mail Materials Notebook OR Email digital version with color selections (one time, only).

PLOT PLANS

Plot Plans must be submitted prior to construction start. Construction may not commence until plot plan approval is received by the builder. Reviewer notes or conditional approvals MUST be related to the field superintendent by the builder.

SUBMITTAL PROCEDURE
X Log in to www.archplanreview.com and navigate to APRTrac Login.
X Click "Plot Plans".
X Click "Add New".
X Complete all fields.
X Click "Save" (this feature allows you to stop the submittal and come back later, if needed).
X Click "Edit" and complete the fields on the next page.
X Add any Comments for the Reviewer.
X Click "+Add" to Upload Plot Plan, including: <ul style="list-style-type: none">Approved Floor PlanHouse ElevationsSetback DimensionsHouse DimensionsDrive Location, WidthLead Walk DimensionHouse Walkway DimensionFencing TypeFencing Tie-In Locations
X Click "Save".
X Check that all fields are correct and complete. Click "Submit to APR".
X Pay Review Fee Payment On-Line (preferred) or Mail Plan Review Fee Check made out to Architectural Plan Review, LLC. *Special conditions may apply. See your specific Fee Schedule for instructions.
Additional Fees for Optional Requests
X Variance Request Fee \$200.

INSPECTION REQUESTS

Builders must request an inspection after landscape installation, but prior to home closing. A signed Certificate of Completion (COC) is required for home closing.

SUBMITTAL PROCEDURE
X Log in to www.archplanreview.com and navigate to APRTrac Login.
X Click your Community.
X Click "Inspection Requests".
X Click "Add New".
X Complete all fields.
X Click "Save" (this feature allows you to stop the submittal and come back later, if needed).
X Click "Edit" and complete the fields on the next page.
X Add any Comments for the Inspector.
X Check that all fields are correct and complete. Click "Submit to APR".

All Correspondence will come to the email address we have on file for you. You may check your submittal status, including any action items requested from you by the Reviewer, at any time through your Community Portal on APRTrac. Don't forget to check the interactive plat for a visual representation of the status of your submittals and inspections!



BUILDER CONSTRUCTION GUIDELINES

The following Construction Guidelines shall apply to any and all work performed on or within Moxie (Phase One Development). All Builders shall be bound by any County building codes and all other applicable governing authorities.

Builder's Compliance

The Builder shall comply with these Guidelines. Non-compliance will result in written notification from MxARC of any observed violation(s) via Fax and/or Email to the Field Supervisor and Project Manager. The Builder will have seven (7) calendar days after such notice to correct the violation item(s). If non-compliance item(s) are not corrected within the seven (7) days, a second (2nd) written notification will be sent. Failure to address violation notices could affect approval of future submittals.

Governing Authority

All Applicants shall comply with the regulations of any governing authority, as well as all applicable Occupational Safety and Health Act Regulations and Guidelines (OSHA).

Construction Trailer, Portable Field Offices, Sales Trailers, Etc.

Any Applicant who desires to bring a sales trailer, construction trailer or field office into Moxie must submit a written request for approval by MxARC. The location of such trailers or offices must also be requested in writing for approval by MxARC. Requests must include a copy of the site plan with proposed location and description of trailer or office. Landscape screening is required for all trailers and must receive MxARC approval. All storage areas require fencing on all sides. All temporary structures must be removed upon completion of construction of the model home.

Debris and Trash Removal

Builders shall clean up all trash and debris on the construction site on a regular basis. Lightweight materials, packaging and other items shall be covered or weighted down to prevent being blown off the construction site. Builders are required to retrieve promptly all trash and debris blown onto streets and neighboring properties. Builders are prohibited from dumping, burying or burning trash anywhere within Moxie. During the construction period, each construction site shall be kept neat and clean and shall be properly policed to prevent it from becoming an eyesore or affecting other Lots or any open space. Each Builder is required to construct a trash containment area within the middle of the front of the Lot. Orange construction fences should be placed on sides and rear of construction Lot to prevent construction debris from blowing into adjacent Lots.

The Developer will designate an area in each Section in Moxie specifically for concrete washout. The Builders must clean out the concrete washout at intervals of no more than 30 days. Mud and dirt from the construction site on the paved streets of Moxie, whether caused by the Builder or any of its subcontractors or suppliers, shall be promptly removed and streets shall be cleaned by the Builder on a weekly basis, at minimum.

Sanitary Facilities

Adequate sanitary facilities for Builder's construction workers must be supplied by each Builder. Such facilities shall be located only within an area approved by MxARC.



Builder Construction Guidelines continued

Vehicle and Parking Areas

Construction crews shall not park on, or otherwise use, other Lots or any open space. Private and construction vehicles and machinery shall be parked only within areas designated by MxARC. All vehicles shall be parked so as not to inhibit traffic. At no time shall vehicles be allowed to park under existing trees and must stay off of and away from tree roots.

Each Builder shall be responsible for assuring that the subcontractors and suppliers obey the speed limits posted within the Development. Adhering to the speed limits should be a condition included in the contract between the Builder and its subcontractors/suppliers. The Builder and its subcontractors/suppliers shall use extreme caution around occupied properties. Resident complaints shall be courteously addressed and resolved quickly. Repeat offenders will be reported to the local County Law Enforcement office. Once occupied properties exist, the Developer reserves the right to restrict parking to one side of the street only.

EPA – SWPPP

Each Builder shall comply with the Environmental Protection Agency’s Storm Water Pollution Prevention Plan (SWPPP) or other governmental authorities on similar issues.

Excavation Materials

Excess excavation materials shall be hauled away from Moxie and properly disposed of. Failure to do so shall result in MxARC removing the material and charging the expense to the Builder. Excavation materials may not be deposited on any common area or Lots not belonging to that Builder.

Restoration or Repair of Other Property Damages

Damage or scarring of any property outside the construction Lot, including but not limited to roads, driveways, utilities, vegetation and/or other improvements that results from construction operations will not be permitted. If any such damage occurs, it must be repaired and/or restored promptly and at the expense of the Builder. If the Builder fails to restore/repair the damaged area, MxARC may repair the area and impose the expense as a charge against the cleaning fee. In the event of default by the Builder in meeting these obligations or if the cleaning fee is insufficient to meet the obligation, the Builder shall be responsible and a lien may be recorded against the Lot until paid.

Construction Access

The only approved construction access during the time a residence or other improvement is under construction will be over the approved driveway for the Lot unless MxARC approves an alternative access point.

Street Cleaning

All streets in front of a construction site are to be free from dirt, debris and spilled concrete. Each Builder shall be responsible for street cleaning. All streets must be cleaned weekly or as needed. All streets must be clean each Friday before weekend sales activity.

Construction Signage

Unless required by local governing authorities, no construction signs may be posted anywhere in Moxie with the exception of one (1) construction sign per Lot. Such signage must be designated and approved by MxARC. Location must also be approved by MxARC.

Concrete Washout

One (1) designated concrete “Washout” area for concrete trucks will be allowed per Builder. “Washout” locations will be designated by Developer. “Washout” area must be maintained by Builders at all times. When multiple Builders are building within a Section and sharing a washout area, the cleanup of the “Washout” may be shared by all Builders on an alternating monthly basis.

Sediment Control

As soon as earthwork commences, sediment control methods shall be installed to filter all storm water runoff from the tract into the public street. Sediment control must be placed at all inlets. Four-foot (4’) tall filter fencing is required; the use of mulch or Curlex is prohibited. The sediment control system must remain in place and in good repair until construction is complete and may be removed only when landscaping is installed and lawns are established. Builders shall conform to all regulatory agencies’ rules, regulating standards and criteria governing sediment control to include, but not limited to, EPA-NPDES and Pollution Prevention Plan. Builders shall be responsible for filing and securing all necessary permits.

Gravel Bags

Gravel bags must be placed at the beginning and end of each construction site to contain construction dirt/debris. All inlets must have gravel bags and sediment control at all times during construction. Builders shall conform to all regulatory agencies’ rules, regulating standards and criteria governing sediment control to include, but not limited to, EPA-NPDES and Pollution Prevention Plan.

Builder Construction Guidelines continued

Safety Fencing

Orange plastic fencing with metal posts is required to protect residents from construction areas and prevent construction trash from flowing outside of the construction site. Fencing should be placed on both sides and rear, if necessary, of construction site.

Lot Maintenance

Owners of all Lots shall at all times keep all weeds and grass cut in a low-laying and attractive manner. No Lot may be used for the storage of materials or equipment except for normal residential requirements or incident to construction of improvements. In such cases, all materials and equipment shall be stored so as not to be visible from any street and must be placed OUTSIDE of the drip line of preserved trees. Debris on all empty Lots must be removed weekly.

Illegal Dumping

Dumping of any type onto an empty Lot or construction site is prohibited. Building materials that obviously belong to another Builder must be picked up by that Builder.

Stealing

Stealing within Moxie at any time, including and not limited to materials, water or electricity from neighboring/occupied resident Lots, will result in fines or legal action. Builders will be responsible for any and all damages.

Miscellaneous and General Practices

All Builders will be completely responsible for the conduct and behavior of their agents, representatives and subcontractors while in Moxie. The following practices are prohibited:

- Changing oil of any vehicle or equipment on the Lot itself or any other location within Moxie.
- Allowing concrete suppliers, plasterers, painters or any other subcontractors to clean their equipment anywhere other than designated location(s) approved by MxARC. Such cleaning outside the designated area is strictly prohibited. Violation of this provision will result in the repayment of expenses to MxARC for repairing the damage.
- Removing any rocks, plant material, topsoil or similar items from any property or construction site within Moxie.
- Possession of any type of firearms or illegal weapons within Moxie.
- The use of residents’ utilities without their written consent.
- Using disposal methods or equipment other than those approved by MxARC.
- Careless disposal of cigarettes or other flammable material. It is recommended that at least three (3), ten-pound (10 lb.), ABC-rated dry chemical fire extinguishers shall be present and available in a conspicuous place on the construction site at all times.
- The use of illegal drugs or alcohol.
- Destruction or removal of protected plant materials or plants not previously approved by MxARC.
- Bringing any pets, including dogs, onto Moxie by either Builders or construction personnel. In the event of a violation MxARC, Declarant, or the Association has the right to contact authorities to inspect/impound any pet, refuse to permit the Builder or subcontractor involved to continue on the project or to take such other action as permitted by law.

(continued)

- Radios and other audio equipment which can be heard outside the construction site.
- The use of horns not used for traffic safety by any catering trucks. Trash generated by the purchase of items from any catering truck shall be contained and disposed of properly. Repeated problems with these requirements will result in the catering trucks being denied admittance to Moxie.

Builders will be responsible for repair and/or replacement of all trees (including trees marked for preservation on the Lot), plants, sidewalks, lights, etc. damaged during construction.

DAILY OPERATION

Daily working hours for each construction site shall be as follows:*

Monday – Friday	7 am – 7 pm
Saturday	8 am – 6 pm

Must have prior permission from the Developer:

Sunday	9 am – 6 pm
Designated Holidays	9 am – 6 pm

**No work is permitted after sunset. Foundation pours may occur outside of construction hours with Developer / MxARC approval.*

Construction hours are subject to the requirements of applicable City Ordinances and may change from time to time as determined by MxARC.



No guarantees or representations whatsoever are made that any renderings, plans, specifications, features, facilities, dimensions, measurements, or amenities depicted, or otherwise described herein, will be provided, or, if provided, will be of the same type, size, quality, location, or nature as depicted or otherwise described herein. If developed, the development of the master planned community is expected to occur over many years and the development plan will likely be modified to respond to varying market conditions and changes in circumstances. Maps not to scale.